

TOWN OF BASALT MEETINGS
Planning and Zoning Commission Meeting
Tuesday July 5, 2016

Basalt Town Hall

101 Midland Avenue

5:15 PM **Site Visit - 309 Sopris Drive** (*Meet at Site, Commissioners that cannot make site visit please visit site on your own*)

5:30 **Call to Order**

Approval of Minutes

- June 21, 2016

Consent Agenda - Continue Public Hearing to August 2, 2016 on the Application submitted by “The Arts Campus at Willits” (TACAW) for Sketch Site Plan Review for the proposed Arts Campus at Willits. The proposal sets the site plan limitations at the sketch plan level for construction of the Arts Campus at Willits in two (2) phases.

5:35 **Public Hearing on Code Amendments** for the purpose of considering amendments to the Basalt Municipal Code to implement the *Our Town Subarea Plan: an Amendment to the 2007 Town of Basalt Master Plan*. Includes but is not limited to: Amended *Community Serving Commercial (CSC) Zone District*; *new definitions* and amended definitions.
Recommended Action: *Staff presentation; Public Hearing; P&Z discussion; and action as the P&Z feels appropriate.*

6:35 **Public Hearing on Roaring Fork Conservancy River Center and Old Pond Park Application** - for the purpose of considering a land use Application submitted by the Roaring Fork Conservancy (Conservancy) and the Town of Basalt for the construction of the Conservancy’s River Center and improvements to Old Pond Park and Two Rivers Road. The Application is for a Site Plan Review Approval and Environmentally Sensitive Area (ESA) Environmental and Floodplain Review in Reach II of the Roaring Fork River and includes several amendments to various Town approvals for the River Center and Old Pond Park and related infrastructure
Recommended Action: *Staff and Applicant presentation; Public Hearing; P&Z discussion; and if P&Z is comfortable, motion to recommend approval to the Town Council per Staff Recommendation*

7:00 **Public Hearing on Stott’s Mill Application – Introductory Meeting** for the purpose of considering an Application submitted by MSP1 LLC for: Rezoning; Reinstatement of the majority of the Single-family residential

portion of the Stott's Mill PUD Development approved pursuant to Ordinance No. 18, Series of 2009; and R-4 MD Sketch Site Plan Review for the Multi-Family development portion of the project. The Application includes a proposal to be annexed into the Town. Overall, the proposal includes, but is not limited to: 156 residential dwelling units, approximately 4.5 acres of parks, and associated necessary infrastructure improvements.

Recommended Action: Staff and Applicant presentation; Public Hearing; P&Z discussion; continue to July 19, 2016

- 7:45** **Public Hearing - Kai Peterson Application:** to construct an addition to the existing single-family residence at 309 E. Sopris Drive and deed restrict a portion of the structure as an Accessory Dwelling Unit (ADU). Application involves a rezoning from R-3 to R-3 TN and Special Review Approval.
Recommended Action: Staff and Applicant presentation; Public Hearing; P&Z discussion; and if P&Z is comfortable, motion to recommend approval to the Town Council per Staff Recommendation
- 8:00** **Roaring Fork Club Lodge Suites Application:** to install kitchens in the ten (10) Roaring Fork Club Lodge Suites that do not currently contain kitchens. Application involves a Minor PUD Amendment.
Recommended Action: Staff and Applicant presentation; Public Hearing; P&Z discussion; and if P&Z is comfortable, motion to recommend approval to the Town Council per Staff Recommendation
- 8:10** **Commissioner and Planner Updates**
- 8:15** **Adjourn**

Items on the agenda are approximate and intended as a guide for the Commission. Times are subject to change, as is the order of the agenda. For deadlines and information required to schedule an item on the agenda, please contact Basalt Town Hall at 927-4701.
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DRAFT

**TOWN OF BASALT
PLANNING AND ZONING COMMISSION
PUBLIC HEARING and WORK SESSION
JUNE 21, 2016**

SITE VISIT

At 5:30 p.m. members of the Planning and Zoning Commission met with Town Staff at the Basalt Center Circle properties for a site visit.

CALL TO ORDER

At 6:20 p.m. the Planning and Zoning Commission was called to order. Commissioners answering roll call were Gary Wheeler, Gino Rossetti, Dylan Johns, Eric Vozick and Alternate, Tracy Bennett.

Staff present was Basalt Town Planner, Susan Philp; Assistant Planning Director, James Lindt; and Recorder, Denise Tomaskovic.

APPROVAL

Minutes of June 7, 2016

M/S ROSSETTI AND VOZICK TO APPROVE THE MINUTES OF JUNE 7, 2016 AS READ. THE MOTION CARRIED BY A VOTE OF 4-0-1 WITH CHAIR JOHNS ABSTAINING DUE TO NON-ATTENDANCE OF THAT MEETING.

CONTINUATION

Public Hearing – Continue public hearing on code amendments to July 5, 2016 for the purpose of considering amendments to the Basalt Municipal Code to implement the *Our Town Subarea Plan: an Amendment to the 2007 Town of Basalt Master Plan*. Includes but is not limited to: Amended Community Serving Commercial (CSC) Zone District; new definitions and amended definitions.

M/S ROSSETTI AND VOZICK TO CONTINUE THIS AGENDA ITEM TO JULY 5, 2016. THE MOTION CARRIED BY A VOTE OF 5-0.

AGENDA ITEMS

Continued Public Hearing - DavidCo LLC Mini Storage Application: to construct approximately 81,600 square feet of mini-storage and associated infrastructure. Application involves rezoning, Sketch Site Plan Review, Sketch Subdivision Review, Annexation and other associated land use reviews necessary. The proposed buildings are located directly south of the existing Basalt Mini-Storage.

Lindt noted that this agenda item is a continuation from the previous P&Z meeting. He reviewed the application, referring to posted diagrams and a list of discussion items as follows:

- consistency with Master Plan
- consistency with neighborhood character
- compliance with Industrial Zone District
- vehicular access
- affordable housing
- green building
- traffic mitigation
- pedestrian access
- phasing and vested rights

In response to comments made at the previous meeting, Lindt said that Staff has added a couple of conditions of approval, which he then reviewed (see Staff Memo dated 6/21/16). Lindt then introduced Clay Crossland, applicant and managing director of DavidCo LLC and Basalt Mini Storage, and Jeff Orsulak, planning consultant.

Crossland noted that there were two Commissioners present at this meeting who weren't here at the last meeting so he re-read his presentation. Orsulak then reviewed the PowerPoint presentation that was included in the previous meeting. He explained the serial annexation process for the parcels included in the proposal.

Public Hearing

The public hearing was opened at 6:43 p.m. There were no public comments. The public hearing was closed at 6:44 p.m.

Commissioner Comments

Commissioner Vozick asked about construction management. Crossland said that they will be required to file a plan before construction begins. Crossland said that he had an additional 31 letters to enter into the public record. At the previous meeting he entered 32 other letters into the public record.

MOTION BY ROSSETTI TO APPROVE THIS AGENDA ITEM FOR SKETCH PLAN REFERRAL TO THE BASALT TOWN COUNCIL.

Discussion: In response to a question from the Commission, Lindt outlined the review process for this item. If the Town Council approves Sketch Plan Review then the application will come back to the Planning and Zoning Commission for Final Review, followed by either commendation or denial of the application to the Town Council for Final Review. The Town Council has the ultimate authority to approve or deny the application.

SECOND BY ALTERNATE BENNETT. THE MOTION CARRIED BY A VOTE OF 5-0.

Public Hearing - Kai Peterson Application: to construct an addition to the existing single-family residence at 309 E. Sopris Drive and deed restrict a portion of the structure as an Accessory Dwelling Unit (ADU). Application involves a rezoning from R-3 to R-3 TN and Special Review Approval.

Lindt reviewed the application, referring to a posted site plan and floor plan, along with a list of discussion items as follows:

- consistency with Master Plan
- consistency with neighborhood
- compliance with R-3 TN
- vehicular access and parking
- pedestrian access
- non-conforming shed
- construction management

Lindt noted that some letters had been submitted from adjacent property owners and were included in the packet. Concern has been expressed about construction parking and permanent parking as well as pedestrian movements in the common access drive. Staff has presented possible solutions for these and other issues in the conditions of approval included in the Staff Memo dated May 3, 2016.

Lindt said that the applicant, Kai Peterson, was present and invited him to give his presentation.

Chair Johns asked for specific information about the construction management plan. Peterson explained where the construction fencing will be placed. In his opinion, there won't be a construction parking problem because he and his brother are going to be doing the construction. Lindt pointed out that parking spaces will be delineated on site and 'No Parking' signs will be posted in the lane so the Town will be able to enforce construction parking more easily.

Public Hearing

The public hearing was opened at 7:00 p.m.

Elvira Zek, resident of 305 East Sopris Drive, said that she is opposed to allowing this ADU because the area is already congested. In the five years they've owned their house the neighborhood has gone from three houses with four cars to four houses with ten cars. Their house is for sale and one of the most often-heard comments from prospective buyers is that the driveway seems very tight.

Gregory Zek, also of 305 E. Sopris Dr., said that he was also speaking for Mrs. Ward who lives at 307 East Sopris Drive. He said that there are four houses on about one acre of land in this enclave and adding more cars will only increase the traffic and safety problems. He then explained the impacts of the previous construction activity (several years ago at 303 E. Sopris Dr.) on their driveway and stated that he didn't have much faith in the applicant's or the Town's ability or willingness to enforce the construction management plan based on his previous experience.

Bob Ward, 307 East Sopris Drive, said that this additional unit will result in cramming a lot of density on that driveway. He was skeptical that one parking space would be sufficient for the ADU and concerned that adding more cars on this driveway would only make the existing parking and traffic circulation problems worse. Regarding the trail, nobody has talked to him about it since Bill Efting was the Town Manager. The trail would pass directly in front of his bedroom window and he hopes the Town talks to him about it before it's ever constructed. He added that the trail isn't a main component of this application but it's still an item of concern for him.

Seeing as there were no further comments, the public comment period was closed at 7:07 p.m.

Commission Questions

Commissioner Vozick asked if there would be room anywhere else to add another parking space. Lindt explained that there is no room on the street or in the driveway. Perhaps another spot could be added on the property itself to the south of the expansion.

Commissioner Wheeler suggested adding another temporary parking space on the property during the construction process. Also, since the ADU is only about 800 sq. ft. in size, would it be possible to state in the rental agreement that only one car is allowed? Lindt said that this could become part of the approvals but it can be tricky to enforce.

Commissioner Rossetti said that given the amount of opposition to the proposal and the likely effects on the neighbors, he would have a problem moving this application forward without further mitigation of the parking and traffic circulation situation.

Alternate Bennett said she agreed with Commissioner Rossetti's comments and she added that she didn't think it was realistic to expect that only one parking spot would be adequate.

Commissioner Wheeler asked Peterson if there is room on the property to accommodate another parking spot, perhaps permanently. Peterson said there is room for another parking spot and he is

willing to look at creating another parking spot or reconfiguring the proposed parking. He is willing to put the construction parking on his lot instead of in the common access driveway.

In response to a question from Chair Johns, Lindt said that this application would not require a second round of review but a recommendation to either deny or approve the application will be forwarded to the Town Council by the P&Z.

Chair Johns suggested that the parking situation be further clarified and brought back to the P&Z at a future date. He was also concerned that with only two people working on the construction project, it will turn into a multi-year endeavor with parking and traffic impacts lingering overly long. Johns suggested adding a condition of approval for a neighborhood outreach program so all the neighbors are aware of what will be happening.

Commissioner Vozick noted that the concerns seem to be mostly focused on traffic and parking, not the ADU itself. He, too, would like to see more thought given to finding a parking/traffic solution and an opportunity to review that at a later date before making a recommendation to the Town Council.

M/S WHEELER AND VOZICK TO CONTINUE THIS ITEM TO JULY 5, 2016. THE MOTION CARRIED BY A VOTE OF 5-0.

Roaring Fork Club Lodge Suites Application: to install kitchens in the ten (10) Roaring Fork Club Lodge Suites that do not currently contain kitchens. Application involves a Minor PUD Amendment.

Chair Johns stated that due to perceived conflicts of interest on the parts of Commissioner Vozick and Alternate Bennett, and the resulting lack of quorum, this item needed to be continued.

M/S JOHNS AND WHEELER TO CONTINUE THIS ITEM TO JULY 5, 2016. THE MOTION CARRIED BY A VOTE OF 3-0-2.

WORK SESSION

Philp thanked the commissioners who were able to attend the joint meeting with Town Council last week. Referring to the associated Staff Memo dated June 21, 2016, she reviewed what was discussed at that meeting, noting some of the resulting changes to the amendments such as a reduction to 30 rooms for a hotel as anchor use. If there are no further changes to the zoning language, the next step is to enter the public hearing process for adoption of the CSC Zone District.

Commissioner Rossetti asked for clarification on the setback reduction from Midland Avenue. Philp used a diagram from the packet in her explanatory response to Rossetti.

Commissioner Vozick said he thought that allowing a daycare as an anchor use on any of the parcels wouldn't be a good idea. Philp responded that daycares are allowed as a secondary use and the idea with that is for employers to be able to accommodate a private childcare facility for their employees.

Commissioner Rossetti asked if any of the buildings along the Fryingpan River are in the floodplain. Philp said that some portions of the properties are but she wasn't 100% sure if the existing buildings are or not. Rossetti then asked how parking spaces would be split up between on-street and a potential parking structure. He would prefer that one developer purchase and develop the parcel, rather than multiple developers because it would be more likely to get a parking garage out of the deal. After a brief discussion it was determined that it's too early to get into specifics such as this.

Philp then asked the Commissioners for their thoughts about the current 150' setback from the Fryingpan River for four stories. She reviewed the reduction diagram and the Commissioners indicated their agreement with revising the setback from the river to 100 feet. The Commissioners also agreed with the current language allowing four stories to be built 100 feet from Midland Avenue without requiring a lower building in front of the four stories. However, for the portion of the parcel along Two Rivers Road, the Commissioners wanted to have it clearly stated that a structure or portion of a structure measuring 2.5 stories has to be located in front of any portion of a building reaching four stories. After more discussion, Philp said that Staff will consider the best way to phrase this and how to best present this information.

Chair Johns pointed out that Section 3 on page 5 needs to more clearly state that higher building heights require wider adjacent pedestrian walkway widths. Given the topography changes, Johns added that there needs to be a set horizontal plane relative to the sidewalk or street from which building heights can be determined. Johns then asked about POST's review criteria on these parcels. Philp said that POST 'breaks down' the parcels into two areas; the vitality zone and the non-vitality zone. POST is concerned about the integration of people between these zones and also on how to prevent private uses from bleeding over into the public park.

Commissioner Rossetti said that there needs to be language for the BCC site saying that development on that parcel has to open to the Fryingpan River. Philp noted verbiage on page six that addresses pedestrian linkage.

Chair Johns suggested providing more specificity on POST's role in the review process.

Regarding the dimensional requirements table for the BCC parcel, the Commissioners agreed to change the height limit to 2.5 stories instead of two stories. They also wanted to include information about why grocery store height requirements need to be different.

The Commissioners thought that the secondary use chart seemed to be okay.

After some general discussion Philp noted the next step will be public hearings for this item.

Commissioner and Planner Updates

There were no Commissioner updates. Philp said that the Roaring Fork Conservancy and the Arts Center at Willits (TACAW) are moving along in the review pipeline.

ADJOURNMENT

M/S VOZICK AND WHEELER TO ADJOURN. THE MOTION CARRIED BY A VOTE OF 5-0.

The Planning and Zoning Commission meeting adjourned at 8:14 p.m.

**TOWN OF BASALT
PLANNING AND ZONING COMMISSION**

By: _____
Dylan Johns, Chair

Attest: _____
Denise Tomaskovic, Recorder

Memorandum

To: Chair and Planning and Zoning Commission

From: Susan Philp AICP, Planning Director

Date: July 5, 2016

Re: Public Hearing: Zoning for Our Town Planning Parcels – Amended CSC Zone District and other changes to the Zoning Code

I. Purpose

The purpose of this agenda item is for the P&Z to hold the public hearing and receive public comments before the P&Z makes its recommendation to the Town Council on the zoning changes.

II. Background of Our Town Planning Process

The Council has taken several actions on the Our Town Planning Area starting in February of 2014 when the Council began the Our Town Planning process after the successful voter approval of the bond allowing for the removal of the mobile homes and the construction of the river and park improvements. The P&Z was charged with adopting an amendment to the master plan and to prepare zoning for the Our Town Planning properties. The Town Council has taken several actions directing the P&Z to move forward with zoning for the Our Town Planning Area, which have been summarized in prior P&Z memorandums and most recently in the packet materials for the Council's June 14th Worksession.

In 2015 and early 2016 the P&Z evaluated various alternative ways of zoning the four parcels in the Our Town Planning area with Don Elliott from Clarion Associates. Ultimately the P&Z recommended using the Community Serving Commercial (CSC) Zone District as the best tool for achieving the desired goals of the *Our Town Subarea Plan: An Amendment to the 2007 Town of Basalt Master Plan* ("Our Town Planning Master Plan Amendment"). The P&Z has continued to hold worksessions to refine the proposed revisions to the zoning code.

Town Staff had a model prepared by Vision Design Inc. to show options for development for the Our Town Planning parcels. The model was helpful to the Council, P&Z and the public in understanding the massing that could be built under the regulations and by the citizen's petition. The P&Z subsequently made some changes to

the proposed regulations (for example further limitations on the 3rd story adjacent to the River Park).

On June 14th the Council had a Worksession discussion with P&Z members and provided input on the zoning changes. (See Section V.) Subsequently on June 21st, the P&Z had a site visit and Worksession and made additional changes to the Amended CSC Zone District. (See Section VI.)

III. Key Ideas of the Amended CSC Zone District

There are some key ideas behind the P&Z's Amended CSC Zone District.

First, it was established to further the goals, typologies and vision statements and future land use map included in the Our Town Planning Master Plan Amendment which was adopted by the P&Z and Town Council in late 2015 based on a report created by the Downtown Area Advisory Committee (DAAC).

Second, by requiring anchor uses on these parcels the Town will see the vitality and uses it desires in the downtown area.

Third, the Town currently does not plan on rezoning property it does not own to CSC. Nothing restricts an owner from applying for a different zone district, a PUD, an amendment to this District or creating another District.

Fourth, the Amended CSC Zone District is aimed at giving direction to owners, developers, and citizens about what the Town would like to see in the Our Town Area and what would be successful in the development review process. It encourages an owner to apply for this District by having a 2-step land use process and by allowing more density than permitted for other areas of the downtown.

Fifth, the District allows for a wide variety of uses. For-profit uses are permitted as well as non-for-profit uses.

Sixth, the Amended CSC Zone District does not include a specific floor area limitation. It contains volumetric limitations and other restrictions to arrive at the level of development that could be permitted.

IV. Highlights of the P&Z's Amended (CSC) Zone District

Highlights of the P&Z's Amended Community Serving Commercial (CSC) Zone District are provided below:

1. The CSC Zone District is proposed to be modified to apply to all 4 OTP parcels: CDC, Lions Park, Merino Park and Basalt Center Circle (BCC).

The original district was prepared by the CDC for the CDC parcel although it could be used by other "Public non-profit Entity, Community Development Corporations."

2. The definition of what is considered to be Community Serving is proposed for modification. The P&Z determined that Community Serving meant that each of the properties would include an "**anchor use**". An anchor use is a use or activity that the Town desires which was supported by the OTP Master Plan Amendment.
3. Anchor uses for each of the 4 parcels were identified by the P&Z. Anchor uses include such uses as a grocery store, hotel, brewpub/distillery, and also include a community center (to address the uses desired by the Petition Committee on the CDC parcel).
4. **Secondary uses** are identified for each of the parcels. Secondary uses are other uses which could occur once the anchor use was guaranteed for the parcel.
5. Buildings adjacent to Two Rivers Road may only be **2 ½ Stores**. 2 ½ stories means the third floor is pulled back from the front building façade by at least 10 feet.
6. **4 stories are allowed on the BCC** parcel but only in the interior of the parcel, away from the Fryingpan River, and after buildings are confirmed along Two Rivers Road.
7. Buildings adjacent to the Basalt River Park may also be only 2 ½ stories although the Council may grant relief based on findings.
8. **View openings as shown on the OTP Master Plan Amendment must be protected.**
9. Pedestrian through connections to the rivers as defined in the code language must be preserved.
10. **Definitions** are added (for example, what is a "Community Center"?) or amended (for example "**condominium hotel**").

V. Council Discussion following P&Z's June 14th Discussion

Staff's take aways from the Council's input following P&Z's June 14th Discussion are provided below.

Building and Park Line

- A. Council had general agreement on building line and area shown as a park. Council members recognized that the polygon area potentially could be part of the private development if that development included the vitality ideas advocated by POST's River Park Plan.

Building Heights

- B. Councilor's expressed some concern with the allowed heights, particularly for the 2 ½ story building bordering Two Rivers Road and the river park area. Concern expressed by Councilors included that buildings, if constructed to the maximum height, could potentially be out of character with downtown and adjacent development and that the 38 feet height could actually be fully 8 feet higher or 46 feet with the parapet and underground parking allowances.

Staff added language in the 5th Draft of the Amended CSC Zone District presented at the P&Z's June 21st meeting to clarify that the Council could approve lower heights than the maximum and that allowances to exceed permitted heights could only be made after certain findings.

Uses

- C. Individual Councilors expressed concern with hotels and condominium hotels being allowed on the CDC Property while other Councilors supported hotels and different methods of financing them.

Staff made minor modifications to the condominium hotel definition in the 5th Draft.

- D. Councilors, recognizing the importance of day care, seemed satisfied that day care uses were permitted as a secondary uses.

Process and Summary

- E. Council seemed supportive of the overall direction of the Amended CSC District at this stage of the review and agreed that the P&Z could hold public hearings and continue the adoption process.

VI. Additional P&Z Changes from June 21st meeting.

The P&Z had a site visit before its June 21st meeting on the BCC property for the purpose of checking in on some of the dimensional requirements included in the current draft. Later in the regular meeting the P&Z suggested additional changes to the 5th Draft of the Amended CSC Zone District as presented for that meeting. These changes included:

- Increasing the area where 4 stories on the BCC parcel can be located by reducing the buffer which restricts 4 stories from the Frying Pan River from 150 to 100 feet.
- Allowing 2 ½ stories and 38 feet in height (in place of 2 stories and 35 feet of height) in the center of the BCC property unless buildings are to be built adjacent to Two Rivers Road.

- Stating that that providing wider pedestrian walkways could be a reason for allowing a higher building.
- Revisions to clarify POST's role in the review process.
- Establishing the location of where height is to be measured from and the first floor elevation in relation to adjacent streets and what is around the building must be part of the development approval process.

VII. P&Z Discussion and Recommendation for the Meeting

At this meeting, Planning Staff and Don Elliott, Clarion Associates, will give a presentation and the P&Z will take comments from the public. The P&Z will then discuss the Amended CSC District and other changes being proposed to the Zoning Code. Depending on public comment and the P&Z's discussion, the P&Z may either continue the public hearing or make a motion and forward the code amendments on for Council consideration.

Attachments

6^h Draft of amended Zoning Regulations

Sec. 16-30. CSC Zone District

(a) Intent and applicability.

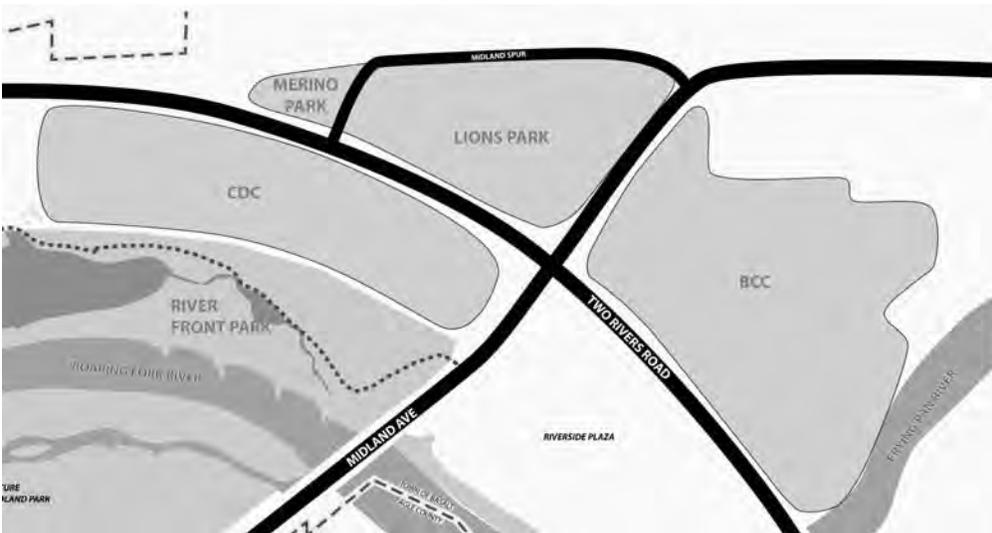
(1) Statement of intent. The intent of the CSC Zone District is to combine the social capital objectives of the Town's Master Plan with the vitality objectives of the C-2 Zone District to produce tailored zoning controls for four key redevelopment parcels in downtown Basalt in order to implement the results of the Our Town downtown planning process. The scale and character of development authorized in this zone district may allow buildings that are larger and more multi-faceted than areas zoned C-2 (Downtown Business) or P (Public).

(2) Applicability.

This district is intended to apply to four specific parcels of land commonly known as:

- a. The CDC parcel;
- b. The BCC parcel;
- c. The Lions Park parcel; and
- d. The Merino Park parcel.

The general boundaries of these 4 parcels are shown on the following map. The exact boundaries of each parcel shall be established at the time the CSC Zone District is applied to that parcel.



(b) Threshold Requirements

(1) Development must be community serving. Since the intent of the CSC Zone District is to encourage social entrepreneurship in the development of community serving commercial projects, new development shall only be permitted to occur in the CSC Zone District if it is determined to be community serving. New development shall be considered to be community serving if it includes an anchor use or uses listed in Subsection 16-30(c)(1) below for the specific parcel indicated, and that anchor use or uses meets the applicable minimum size standard for that use in Subsection 16-30(c)(1) below.

- (2) Qualifying organizations. In order to be eligible for rezoning to the CSC Zone District, the owner of the land to be rezoned must be a non-profit Community Development Organization, a similar non-profit organization where development activities are a stated part of its 501(c)(3) tax status, or a for-profit entity engaged in construction of a building or facility that is a community-serving anchor facility, as listed in Section (c)(1) below. A qualified Community Development Corporation is an entity which satisfies the requirements of Section 16-4 applicable to a "Public non-profit Entity, Community Development Corporation." A for-profit entity may include a group of owners which have agreed to be represented in the entity engaged in constructing the community-serving anchor facility.
- (3) Consistency with Master Plan. In reviewing whether a parcel is appropriate for CSC zoning, the Town will consider the future land use designation, neighborhood typology, and goals and objectives of the then current Master Plan, including but not limited to the Our Town Master Plan amendments.

(c) Permitted uses

(1) Permitted anchor uses.

- a. Subject to Subsections (1)b. and (1)c. below, at least one of the following anchor uses must occur on the CSC Zone District parcels indicated in the table below.

Table 16-30-1: Anchor Use Table					
	CDC Parcel (West)	CDC Parcel (East)	BCC Parcel	Lions Park	Merino Park
Arts Center [1]				●	
Community Housing [2]					●
Brewpub/Distillery [1]	●		●		
Entertainment [3]	●		●		
Grocery Store [3]			●		
Hotel or Condominium	●		●		
Hotel [4]					
Park/Open Space		●			
Small Business Incubator [2]					●
Sports/Youth Center [1]			●	●	
Town Hall				●	●
Community Center [1]	●		●		
[1] Must contain at least 6,500 sq.ft. of total floor area. [2] Must occupy at least 70% of the occupied total floor area developed on that CSC parcel. [3] Must contain at least 9,000 sq. ft. of total floor area. [4] Must contain at least 30 guest rooms. Includes condominium hotel					

- b. The Town Council may approve an anchor use designated for one CSC parcel as an acceptable anchor use for a different CSC parcel not indicated in the table above, with the exception that no anchor use other than a park or open space shall be designated for the eastern portions of the CDC and Lions Park parcels.
- c. If an approved anchor use begins operation but later discontinues operation for a period of 3 months or more, or if the portion of the building in which the anchor use is located is destroyed by fire or any other cause, the property owner may apply to change the approved anchor use to any other anchor use that meets the minimum size requirements listed in the table above. Any change to a substitute anchor use or another use permitted in the CSC

zone district shall require review and recommendation by the Planning Commission following a public hearing, and shall require approval by the Town Council.

(2) Required Community Vitality Uses

On each CSC parcel, land uses in the designated Vitality Zone for that parcel are required to be Community Vitality Uses subject to exceptions included in Section 16-29(c) and the design guidelines for buildings included in Section 16-30(d)(7).

(3) Permitted Secondary Uses

The following secondary uses are permitted on each CSC parcel, provided that one or more of the anchor uses designated in the table above (or approved by the Town Council) has already been established on same CSC parcel, or will be established on the same CSC parcel as part of the development containing the permitted secondary use.

- a. An anchor use listed above in table 16-30-1, regardless of whether it satisfies the minimum size requirements, unless prohibited elsewhere by this section (C)(3).
- b. Uses and activities conducted by a government entity or by a public non-profit entity that meets the requirements of Sections 16-4 or 16-21(8) of this Chapter. Such uses include including but not limited to administrative offices and meeting rooms for non-profit and educational oriented organizations, transit facilities, museum, community center, educational facilities, performing arts center, and theater.
- c. A local business chamber.
- d. Community Vitality Uses as shown on Table 1 in Section 16-29 as Community Vitality Uses (in areas of the parcel other than the designated Vitality Zone).
- e. Other commercial, office and retail uses allowed in the C-2 Zone District.
- f. Fully-deed restricted community housing units meeting the requirements of this Chapter.
- g. Free-market multifamily residential uses (only on BCC and Lions Park parcels) where no unit exceeds 1,400 total square feet.
- h. Makerspace/Craft Industry.
- i. Public parking garage (on the BCC parcel only).
- j. Public or private open space and park uses.
- k. Day care that complies with state requirements regulating day care.
- l. Accessory uses approved pursuant to CSC Development Plan Review Process
- m. Temporary outdoor uses and vendors, subject to the provisions of Chapter 6, Section 6-13 of the Town of Basalt Code.

(4) Limitations on permitted uses. Through the CSC Development Plan Review process, the Town Council may place reasonable restrictions or limitations on any use or activity in the CSC Zone District. The Town Council may also determine that a specific use is not appropriate based on the intent of the zone district, consistency with the Town Master Plan and compatibility with adjoining areas. The Town Council may establish conditions allowing for subsequent review by the Town Planner or Technical Review Committee to avoid unnecessary additional meetings before the Planning and Zoning Commission and Town Council.

(d) Dimensional requirements.

- (1) The dimensional requirements applicable to developments within the CSC Zone District shall be established through the CSC Development Plan review process, and shall be subject to the limitations listed in Table 16-30-2, below.

Table 16-30-2: Dimensional Requirements					
Dimension	Standard				Comments
	CDC Parcel	BCC Parcel	Lions Park Parcel	Merino Park Parcel	
Minimum Lot Area					
Maximum Building Height to Top of Parapet or Pitched Roof	2.5 stories; 38ft. [1]	4 stories; 45 ft. [2] [3] [4]	2 stories; 25 ft.	4 stories; 45 ft.	2.5 stories means a third story is allowed if it is set back as required in applicable table notes.
Front Yard Setback (along Two Rivers)					Overhangs and other building features may encroach into the public-right of way if approved through the CSC development plan review process and a Town encroachment license is obtained
Min.	0 ft.	0 ft.	0 ft.	0 ft.	
Max.	10 ft.[6]	10 ft. [5] [6]	10 ft.[6]	N/A	
Front Yard Setback (along Midland Avenue and Midland Spur)					
Min.	N/A	0 ft.	0 ft.	0 ft.	
Max.	N/A	N/A	10 ft.[6]	10 ft.[6]	
Min. Side Yard Setback	Per Building and Fire Code				
Min. Rear Yard Setback	Per Building and Fire Code				
Min. Setback from Rivers and other Environmentally Sensitive Areas	See Article XXI				
Min. Landscaped Open Space	10%			N/A	Open space credit may be given for pedestrian improvements per Section 16-30(e)(5)(b)
<p>[1] A 2.5 story building is allowed if the third story is set back at least 10 ft. from the lower façade facing Two Rivers Road street frontage, from Riverfront Park, and from the park on the east portion of the CDC parcel.</p> <p>[2] Any portion of the building containing a grocery store may have a maximum height of 49 ft.</p>					

Table 16-30-2: Dimensional Requirements					
Dimension	Standard				Comments
	CDC Parcel	BCC Parcel	Lions Park Parcel	Merino Park Parcel	
					<p>[3] Each building shall not exceed 2.5 stories or 38 ft. in height within 50 ft. of Two Rivers Road or Midland Avenue, or within <u>150-100</u> ft. of the Frying Pan River.</p> <p>[4] No new building shall exceed <u>2.5</u> stories or <u>35-38</u> feet in height until (a) at least 150 linear feet of the Two Rivers Road frontage is occupied by buildings meeting the minimum and maximum setbacks, or (b) the Town Council has approved a development plan showing that at least 150 linear feet of the Two Rivers Road frontage will be occupied by buildings meeting the minimum and maximum setbacks.</p> <p>[5] Maximum building setback shall not apply to the 150 ft. of the BCC parcel along the Two Rivers Road frontage closest to Midland Avenue, measured from the light pole existing on March 31, 2016 at the intersection of the Two Rivers Road and Midland Avenue.</p> <p>[6]. At least 80% of any street facing building must be built between the minimum and maximum front setbacks except for building located behind another street facing building or as provided in Note [5] above.</p>

- (2) Town Council can reduce or waive in its entirety the requirement for a full 10 foot third floor setback on the park sides of the CDC parcel after a recommendation of the Planning and Zoning confirming that at least one of the following findings has been made.
 - a. An equivalent setback is provided on the first floor to provide a porch or deck that lessens the visual massing of the building by park users;
 - b. Requiring the setback would require the first floor of the building to be so large that it would negatively impact views required by Section 16-30(e)(1)
 - c. There is sufficient fenestration in the building to reduce the visual mass of the building so that the full top floor setback is not necessary
 - d. The third floor setback is in an area not seen by park users because of vegetation, terrain change, intervening structures, or other factors
 - e. The second floor of the building is set back from the first floor façade at least 10 feet or more on those frontages where a third floor setback is required in the table above.

- (3) A land use application must demonstrate to the satisfaction of the Town Council that the height requested is compatible with or complements the adjacent uses and heights of adjacent structures. The Town Council can allow a building height to exceed the maximum height requirements by no more than 8 feet after a recommendation of the Planning and Zoning confirming that at least one of the following additional findings has been made.
 - a. Permitting the additional height allows for greater views or wider pedestrian-through connections to the river than otherwise would be achieved or the Applicant is willing to grant wider views to the river in exchange for the additional height;
 - b. The height is the minimum necessary to hide mechanical equipment that must be on the roof;
 - c. The additional height is necessary to allow underground parking. However no more than 4 feet of underground parking structure height above approved grade may be exempted from the maximum height limitations.

- d. The additional height will permit the addition of a feature improving the architectural interest of the building. However, no more than 6 feet of additional height to accommodate the feature may be approved.

(4) The approved grade from which maximum height will be measured and first floor elevation(s) for the buildings within any CSC parcel will be proposed in the sketch plan application and established at Final Plan review based on each building's relationship to any adjacent street, sidewalk, public area or buildings, while factoring in other environmental considerations such as the water table.

(e) Other Site Development Standards.¹

(1) Openings to the river.

The following openings shall be preserved for views to Roaring Fork River and for pedestrian passage by employees, occupants, or patrons of adjacent properties, and no new building shall be constructed in the areas designed as a view protection/pedestrian access zone.

- a. Required View/Pedestrian Opening 1: On the Lions Park parcel and CDC parcel, buildings shall be sited so as to preserve views and pedestrian access from the corner of Midland Avenue and the Midland Spur to the Roaring Fork River as shown on the following map.
- b. Required View Opening 2: On the CDC parcel, a view and pedestrian access from Two Rivers Road to the Roaring Fork River shall be provided along the western edge of the property, as shown on the following map.
- c. Additional View Opening: To the maximum extent practicable, at least one additional view from Two Rivers Road to the Roaring Fork River should be provided somewhere west of the intersection of Two Rivers Road and the Midland Spur. This view opening shall be located so that building frontages along Two Rivers Road comply with the building façade articulation standard in Section 16-30(f)(4) below.



¹ Content of current CSC “Other Development Standards” have been significantly reorganized for logical flow and to better separate site and building design requirements.

- (2) Pedestrian through-connections. Development on the BCC parcel shall incorporate at least one pedestrian through-connection from the Midland Avenue frontage to the Frying Pan River frontage. The required pedestrian through-connection shall be located internal to the site (at least 50 feet from the Two Rivers Road frontage).
- (3) Vitality zone. Each CSC parcel except the Merino Park parcel shall include a designated vitality zone that shall be established by the Town in the sketch plan process. The permitted uses in the vitality zone are shown on Table 1 in Section 16-29 as Community Vitality Uses and the buildings are subject to the building design standards contained in Section 16-30(f) for buildings within the vitality zone. The Town Council will establish the vitality zone considering the following:
 - a. The pedestrian and connectivity goals of the area;
 - b. The nature of the desired streetscape;
 - c. Existing and proposed adjacent uses;
 - d. The then current Master Plan, including but not limited to the Our Town Master Plan amendments; and
 - e. The goals advocated by any non-profit applicant.
- (4) Parking. Development in the CSC Zone District shall provide parking as follows:
 - a. Minimum requirements
 1. Hotel/Condominium Hotel —1 space per hotel room, plus 2 for management and operations.
 2. Residential—1 space per bedroom to a maximum of 2 spaces per unit, where an efficiency unit is counted as 1 bedroom.
 3. All other uses—1 space per 400 square feet of floor area. With the exception of handicap spaces and car share spaces, parking spaces may not be reserved for individuals or private businesses.
 - b. Additional on-street parking constructed as part of the development will count for non-residential parking included in the calculation of parking spaces to be provided. The applicant shall be permitted to purchase non-residential parking spaces pursuant to the requirements of Section 16-94.
 - c. The Town Council may apply a reduction of the non-residential parking requirements following a recommendation of the Planning and Zoning Commission based on hours of operation, mixed-use, access to on-street parking, availability of local public transit, availability of parking spaces in a public parking lot or garage, expected use of WE-Cycle or other bicycle sharing programs, contribution to or participation in a car share program that serves the community, creation of a Transportation Demand Management (TDM) plan to reduce traffic volumes and parking demands below expected levels, or contribution to other desired public improvements, necessary infrastructure, or other basic Town service requirements. The Town Planner may require a recommendation from a parking consultant as outlined in Section 16-92 in order for the staff and Planning and Zoning Commission to make a recommendation and the Town Council to make a decision on the appropriate parking reduction for the development.
 - d. The visual impacts of off-street parking and loading areas shall be minimized. The design of parking and loading areas shall ensure that they support and do not detract from the Town's vitality goals for the CSC Zone District. This shall be accomplished by:
 1. Constructing structured parking primarily underground where such construction is feasible;

2. Prohibiting surface parking between any building on the CDC, Lions Park, and Merino Park parcels and the right-of-ways of Two Rivers Road, Midland Avenue, or the Midland Spur;
 3. Locating parking and loading areas, or the access to such areas, along the rear facade or side of the building whenever feasible; or
 4. Wrapping the facades of any structured parking within other permitted uses that have a minimum depth of 18 feet or wrapping the facades with building material, grading or landscaping to break up the view of the parking and parking structure lighting from public open spaces and other activity areas. When this design option is employed the access to the structured parking shall be designed with the same attention to detail and materials as the primary façade and the access shall be integrated into the building's design and wrapping.
 5. Designating 1 or more loading zones on the site plan and regulations to govern loading.
- e. Except as described in subsections (a) through (d) above, parking areas and structures in the CSC Zone District shall comply with the requirements of Article V, Off-street Parking and Loading.

(5) Open spaces.

- a. To the extent possible the areas between each building with a ground floor nonresidential primary use and the adjacent street shall be visible space that is useable by customers of on-site business uses or pedestrians. These areas, and the required open space areas on the site shall:
 1. Abut and be level with the public sidewalk;
 2. Be open to the sky (except for awnings, covered walkways, areas under a porch and covered outdoor seating);
 3. Be directly accessible to the public; and
 4. Be provided with appropriate ground cover treatment and landscaping.
- b. Placement of street furniture and public art in required open space is encouraged, as long as a 5 foot minimum pedestrian walkway width is maintained. Items such as street furniture, educational and interpretive displays, small play features and public art that are attractive and appropriate for use by young children are encouraged. The Town may give credits towards minimum open space requirements for street furniture, fountains and similar improvements in a public right of way or other public spaces in the downtown.
- c. At least 50 square feet of private usable open space shall be provided for each dwelling unit. Private open space may include balconies above ground and lawn areas and patios behind the building. Private open space areas shall not be located in front of or adjacent to any portion of a building's vitality zone. The Town may reduce or waive a private open space requirement if the Town determines that the private open space area would interfere with the intent of the CSC Zone District.
- d. Building design and landscape features for the CSC development must take into consideration adjacent public park uses. CSC development shall complement but not detract from public park activities. Development outside of any designated vitality zone adjacent to a public park shall be designed to minimize the intrusion of the CSC development [activities or impacts from private lands](#) onto public parks and trails. Development within any designated vitality zone should be designed to [optimize](#) integrated public and private uses and activities.

- (6) Signage. The sign restrictions of the C-2 District will apply to non-residential uses unless modifications to those standards are approved through the CSC Development Plan Review process. However, nothing shall prevent the Town Council from adding conditions and

restrictions on signage to protect adjacent properties and to further the goals of the adopted Town's Master Plan, including without limitation the Our Town Master Plan amendments.

- (7) Lighting. The lighting requirements of Section 16-431 shall apply to development within the CSC Zone District unless modified through the Exemption process outlined in Section 16-438 of the Town Code, Article XX, Exterior Lighting.
 - (8) Utility and trash facilities. Utility boxes and trash/recycling facilities servicing the building shall be located outside of the public right-of-way, along the rear or side façade of the building. To the extent possible, these facilities shall be located to avoid or minimize any negative impacts on residential uses on the parcel and on adjacent parcels and to avoid interfering with pedestrian movement and experience. This requirement shall not be construed to prohibit the placement of street furniture, such as public trash containers, within the public right-of-way.
 - (9) Environmentally sensitive areas. Development within the CSC Zone District shall comply with Article XXI (rivers, wetlands and environmentally sensitive areas), provided that the environmentally sensitive area review shall be conducted simultaneously with the CSC Development Plan Review if the Town Planner makes a finding that the development is within the development line established by the River Master Plan.
 - (10) Community Priority Scoring System. Development within the CSC Zone District shall be exempt from the requirements of Article XXII.
 - (11) Land dedications. The land and improvements, or fees in lieu, required to be provided under the provisions of Section 17-15 (Parkland Dedication) shall be calculated at one-half (½) the requirement for any deed restricted community housing units; and the provisions of Section 17-16 (School Land Dedication) shall apply at the same discounted rate for deed restricted community housing units. The Town Council may exempt or further reduce such fees for free-market and community housing during the CSC Development Plan review process pursuant to Section 16-419. Any reduction or elimination of school impact fees will require approval by the school district.
 - (12) Development in the CSC Zone District shall meet or exceed the accessibility requirements of the Americans with Disabilities Act.
 - (13) Landscaping in the public right-of-way. Landscaping that is to be installed in the public right-of-way shall comply with the applicable provisions of the Public Works Manual.
 - (14) Curb Cuts. Development in the CSC Zone must satisfy the design criteria of the C-2 Zone District in Section 16-29(e)(4)c. regarding curb cuts.
 - (15) Street and Streetscape Improvements. All street and streetscape improvements shall comply with the Town of Basalt Complete Streets Design Manual.
 - (16) Community Housing. Development within the CSC Zone District shall comply with Article XIX (Housing Mitigation)
- (f) Building design. All buildings shall comply with the following requirements, if applicable:
- (1) Building Typologies and Guiding Principles. The typologies from the Our Town amendments to the Town of Basalt Master Plan that the Town determines are most applicable to the type of development proposed in the project, as well as other building design standards and guidelines contained in the Our Town Master Plan amendments. Those guiding principles include:
 - Building scale compatible with historic downtown;
 - Variety of western roof forms;
 - Street level interest; and
 - Contemporary reinterpretations.
 - (2) Buildings within the portion of the site designated as the vitality zone (as that term is defined in Section 16-29 of this Code) shall incorporate a store-front design at the street level, with

windows suitable for retail goods display that are designed to attract pedestrian interest at the street level. The storefront windows along the façade of the vitality zone shall be transparent so as to permit the activities within the building to be visible to pedestrians along the adjacent street. Commercial spaces at street level should have a ceiling height consistent with those within the historic downtown.

- (3) Any new buildings constructed at prominent corners shall contain both ground floor and upper floor elements that reflect timeless design and visually emphasize the importance of the corner through vertical elements, changes in materials or color, changes in articulation patterns, or entryways, or similar features.
 - (4) Building facades along streets shall be designed to reflect the general 20-30 ft. width of street facing building facades in older areas of downtown Basalt. Building facades wider than 30 ft. shall include vertical projections or insets from grade level to the eave of a pitched roof or the top of a flat roof or parapet at a linear spacing of no less than 20 feet and no greater than 30 ft. unless waived or modified by the Town Council after recommendation by the Planning and Zoning Commission. This standard shall not prohibit the extension of an awning across the vertical projection or inset.
 - (5) Building facades along pathways that connect buildings to public spaces, and along alleys or other frontages with pedestrian traffic shall contain projections from or insets into the wall plane, windows, doors, or changes in material to ensure that no section of building wall longer than 30 feet is of uniform materials, color, and appearance unless waived or modified by the Town Council after recommendation by the Planning and Zoning Commission.
 - (6) The ground floor of any new structure in the vitality zone shall be at grade with adjacent sidewalks or passageways, and there shall be no steps between the sidewalk and the primary building entry. However, in order to satisfy grade issues, steps may be included between the sidewalk and the street if the applicant demonstrates that providing steps is the best way to address grades on the site.
- (g) Zone District review procedures and submission requirements.
- (1) CSC Development Plan review procedures. No new development shall occur in the CSC Zone District without CSC Development Plan review and approval. CSC Development Plan review shall be conducted in 2 stages, these being Sketch Plan review and Final Plan review.
 - a. Sketch Plan review. Sketch Plan review is intended to provide the Town with a general overview of the project including a description of existing conditions, proposed mix of uses, height, floor area and parking, as well as its relationship to neighboring properties and consistency with the Town's Master Plan, the River Master Plan and applicable Code provisions. Sketch Plan review shall involve the following procedural steps:
 1. The initial step in Sketch Plan review shall be a determination of whether the proposed project is community serving and is eligible for rezoning to the CSC Zone District. This determination may be made administratively by the Town Planner or the Town Planner may refer this matter to the Planning Commission and Town Council. If the determination is referred, then the Planning Commission and Town Council consideration may occur at a jointly held public hearing.
 - ~~2.~~ Any project that is determined to be community serving and eligible for rezoning to the CSC Zone District may then proceed through Sketch Plan review.
 2. With the exception of proposals for the Merino Park parcel, Sketch Plan review shall require a review by the Town's Parks, Open Space and Trails Committee. The Committee shall make recommendations on how the project satisfies Section 16-30(e)(1)(2) and (5) along with the Committee's findings of the project's consistency with the parks, open space and trails sections of the Town's master plan and the project's impact on any other adopted park plans.

- a. Sketch plan review will then require review by the Planning Commission. The Commission is authorized to recommend approval, approval with conditions, or denial of the Sketch Plan application following a duly noticed public hearing. The Planning Commission review shall be followed by a review by the Town Council at a duly noticed public hearing. Following the closure of the public hearing, the Town Council may approve, approve with conditions, or deny the application.
 - b. Final Plan review. Final Plan review is intended to provide the Town with a more detailed description of the proposed development program, to respond to issues raised in the sketch plan review and to present additional information required in the Sketch Plan review. With the exception of proposals for the Merino Park Parcel, the initial step in the Final Plan review will be a review by the Parks, Open Space and Trails Committee. The Committee shall make recommendations on how the project satisfies Section 16-30 (e)(1)(2) and (5) along with the Committee's findings of the project's consistency with the parks, open space and trails sections of the Town's master plan and the project's impact on any other adopted park plans. Final Plan review shall require a review by the Planning Commission after recommendation by the Basalt Parks, Open Space and Trails Committee at a regular meeting. The Commission is authorized to recommend approval, approval with conditions, or denial of the Final Plan application following a duly noticed public hearing. The Planning Commission review shall be followed by a review by the Town Council at a duly noticed public hearing. Following the closure of the public hearing, the Town Council may approve, approve with conditions, or deny the application. The Town Planner may schedule a joint meeting of the Planning Commission and Town Council prior to the initial Final Plan review by the Commission.
 - c. Community Serving Subdivision. A property which is zoned CSC is eligible to be subdivided as a Community Serving Subdivision pursuant to the provisions of Section 17-84.5 of this Code provided no more than four initial lots are created by the Owner. The Community Serving Subdivision shall be processed concurrently with the CSC Development Plan. However, nothing herein requires the qualifying non-profit organization to use the Community Serving Subdivision process if the owner would rather utilize another eligible subdivision process in the Code at the time of the subdivision.
- (2) Sketch Plan submission contents. The application for the Sketch Plan stage of CSC Development Plan review shall include the following:
- a. Completion of standard application forms and authorization from the owner for the filing and processing of the application and fees.
 - b. Description of existing conditions.
 - c. A legal description of the property, an ALTA survey and a copy of any easement or recorded document referenced on the ALTA survey.
 - d. A list with addresses of all property owners within 300 feet of the property.
 - e. A description of the development program including: major objectives of the development; proposed mix of uses with approximate square footages of each use and number of any free-market and community housing units and allowed locations; parking capacity, location and types; access locations and vehicle and pedestrian circulation; proposed phasing and timing; and plan for satisfying the goals of the development plan. Numbers can be provided in a range.
 - f. Schematic development plan (at a scale of at least 1 inch per 100 feet) showing horizontal relationships of the proposed development with property boundary, setbacks and proposed uses.
 - g. Information and drawings providing a schematic level description and illustration of the height, scale and mass of proposed structures from important perspectives, as well as proposed open spaces narrative and graphic descriptions of the character and style of architecture by the end of Sketch Plan review.

- h. Narrative addressing relationship of the project to neighboring properties and consistency with the Town's Master Plan, the River Master Plan; Streetscape Plan and any other long range planning documents as deemed appropriate by the Town.
 - i. Narrative description of how utilities are to be provided to and through the site by a licensed professional engineer along with an assessment as to the feasibility of the applicant's proposal. Describe whether any existing utilities or easements will need to be relocated or vacated, and generally the plan for accomplishing this. The engineer's assessment at a minimum must address potable water, sanitary sewer, drainage and storm sewer, electrical power, natural gas power, and flood protection where applicable. Describe whether the power lines will be below ground or overhead. The applicant may include maps depicting the alignment of utilities but it is not required at Sketch Plan. The engineer's assessment shall outline any known engineering and utility issues and generally describe how they will be addressed in the final site plan review.
 - j. Proof of ability to apply the CSC Zone District.
 - k. General statements describing how the elements of the development will satisfy the criteria required for the CSC Zone and explanation for any reductions in requirements allowed through the site plan process.
 - l. Statements addressing how the development intends to satisfy requirements that apply to the development found in other sections of the Code applicable to the type of development being proposed, including but not limited to: any annexation requirements; school and parkland dedication; floodplain development permit and regulations, and community housing, including any need for relocation housing.
 - m. Description of how the development addresses the Town's goals toward sustainable building, energy efficiency and waste reduction.
 - n. A study of the shading or shadow impacts that the proposed buildings may cause on public or private rights-of-way or other public spaces within or surrounding the project.
 - o. Additional information. Any additional information reasonably required by the Town to review the application and to verify compliance with the provisions of this Code.
- (3) Final Plan submission contents. The application for the Final Plan stage of CSC Development Plan review shall include the following
- a. Same as above along with such additional or refined information and analysis as may be required by the Town Council in order to address issues raised in the Sketch Plan review or to verify compliance with the provisions of this Code.
 - b. Off street parking and loading areas, including the location, type and capacity of proposed parking areas, and written justification for any proposed reductions or fee-in-lieu of parking proposals
 - c. The location of all ways for ingress and egress to all buildings and parking areas.
 - d. Service and loading areas and refuse and recycling collection areas.
 - e. Site/building program.
 - f. Development plan which meets the requirements of Section 16-66(3)b. Following Final Plan approval the applicant shall record a development plan containing the elements of the Town Council's approval.
 - g. Reserved.
 - h. Proposed schedule and phasing.
 - i. Identification of potential construction and maintenance easements needed for zero-lot line development and plan for obtaining such easements.

- j. Draft Master Development Agreement which generally describes the public improvements to be constructed in connection with the project, the timing of such construction, the parties responsible for completion of the public improvements and the financial security to be provided.
- (4) Building, engineering and site design review. Building, engineering and site design review is intended to provide the Town with the final architectural, engineering, landscaping and other technical documents that are a precursor to the actual construction of the project. Following approval of the final CSC Development Plan and any other associated land use actions and prior to issuance of a building permit for each lot or development site, the then-owner of a lot or development site shall comply with the following submission requirements and review procedures:
- a. The owner shall prepare and submit architectural drawings, elevations and perspective drawings of all proposed structures and improvements intended to show the relationship of the proposed structures to the surroundings. Such drawings shall depict proposed building materials, fenestration, mechanical equipment (and screening of such equipment) and similar architectural details but need not be the result of final architectural design.
 - b. The owner shall submit final engineering documents, including plans and specifications for streets, water, sewer and drainage and the engineers' cost estimates for all public improvements to be installed on the lot or building site within dedicated land areas, rights-of-way or easements.
 - c. Following construction, the owner shall provide as-built mapping and diagrams for utility installations in an electronic computerized format of a type approved by the Town Engineer or Public Works Director.
 - d. The owner shall describe the character and type of landscaping, lighting and signage to be provided. The landscaping shall be indicated in tabular form, showing the type of plant material, minimum size and quantity. The approximate location of landscaping shall be indicated on a site plan. The lighting description shall describe how the lighting complies with the final site plan approval and any exemptions that will be necessary pursuant to Section 16-438 of the Town Code, Article XX, Exterior Lighting. The signage plan shall provide detailed information sufficient to determine whether the location, size, number and character of the proposed signs comply with the requirements of the Town Code, Article VII, Signs.
 - e. The owner shall provide an anticipated time table for completion of development including the anticipated dates for completion of any phase.
 - f. The owner shall provide a title insurance policy indicating that the property is free and clear of all ownership disputes, liens or encumbrances which would impair the property to be utilized for the uses approved. The title policy shall provide verification that all owners and lien-holders have approved the final subdivision plat.
 - g. The owner shall demonstrate compliance with Article II, Chapter 17, Design Standards and Requirements for Subdivisions.
 - h. The owner shall demonstrate compliance with Article V, Chapter 17, Public Improvements Acceptance and Guarantees.
 - 1. The owner shall provide a Subdivision Improvement Agreement for public or quasi-public improvements to be constructed by the owner and other draft agreements and conveyances that apply to the development as whole or to community housing or other restrictions or requirements.
 - 2. The owner shall provide a Construction Management Plan and shall submit a request for the use of any of the Town's property for construction or construction management purposes.

3. The owner shall demonstrate compliance with the Final CSC Development Plan approval applicable to the application and any other Town approval.
 - i. The owner shall submit the information necessary to satisfy the foregoing requirements for review by the Technical Review Committee. TRC review shall take into consideration the project's compliance with the approval documents applicable to the development, relevant standards applicable to buildings, final subdivision plats and other Town code requirements for approval before building permit. The TRC may refer any portion of its review to the Planning Commission or Town Council for final action. In addition, in its final approval the Town Council may require that the Planning Commission or Council review specific items of the approval.
- (5) Amendments to a Sketch Plan or Final CSC Development Plan. Amendments to a Sketch Plan approval or Final Plan shall be processed as follows:
 - a. Sketch Plan approval. After Sketch Plan approval an applicant may make insubstantial amendments to the approved sketch plan before submitting a Final CSC Development Plan for review. Substantial amendments shall be processed under the same procedures as used for the original adoption. "Substantial" shall have the same meaning as in Section 16-65(d)(2). The initial determination of whether an amendment is insubstantial or substantial shall be made by the Town Planner.
 - b. Final CSC Development Plan approval. After Final Development Plan approval, the TRC may review and approve of minor amendments to the approval documents necessary to effectuate the intent of the Final Plan Approval. The applicant shall have the ability to appeal a TRC decision on a minor amendment to the Town Council at a public meeting in which 15 days written notice of the public meeting has been provided to the appellants.
 - c. Substantial amendments and amendments which the Town Planner determines are not minor amendments but are consistent with the Sketch Plan approval shall processed pursuant to the Final Plan submission and review procedures. Substantial amendments and any amendments which the Town Planner determines are not minor amendments and are not consistent with the Sketch Plan approval shall be processed pursuant to the Sketch Plan and Final Plan submission and review procedures.

Sec 16-4 Definitions – *the following definitions are proposed to be added, except for the definition of condominium hotel, which is proposed to be revised as shown below.*

Brewpub/Distillery -- A facility licensed as a brewpub or distillery by the state that annually manufactures and sells in the facility not more than 5,000 barrels of beer, or not more than 25,000 gallons of distilled spirits, only for consumption on the premises.

Community Center – A facility available for public activities, including but not limited to events, performances, entertainment, celebrations, meeting rooms, public classrooms and indoor gardens. The space is intended to be available for use by the public. However, the space may be rented by one or more parties at any time.

Condominium Hotel (or condotel or condo-hotel) -- A hotel or motel operated under a condominium form of ownership. A condominium hotel must satisfy the following requirements:

- a. Be advertised and marked with signage as a hotel or motel and be subject to the complete control and management of a single hotel or motel operator for operation as a hotel or motel.
- b. Be created, sold and maintained under documentation, including condominium declaration, bylaws, sales brochures and pre-construction agreements, in form and content approved by the Town Attorney that adequately discloses and ensures that the facility will in all respects be permanently and exclusively operated as a hotel or motel and will not be occupied as a dwelling.

- c. Except for dwelling units to be used by a manager or employees or any deed-restricted affordable housing, condominium hotels shall contain only individual sleeping units that are sold as a condominium hotel unit and are permanently dedicated to rental to the public for transient occupancy. Individual sleeping units may contain small kitchen facilities.
- d. Be managed to ensure that:
 - (i) At least fifty (50) percent of the units are available for rental to the general public at all times; and
 - (ii) That no unit owner may occupy their unit for more than sixty (60) days out of a calendar year; and
 - (iii) That no owner may occupy their unit more than twenty-nine (29) consecutive days; and
 - (iv) That no owner may store an automobile on site when they are not occupying a unit
- e. Contain and maintain standardized furniture, furnishings and decor in all individual sleeping units.

If a proposed development does not meet requirements a through e above, the Town Council may determine that a proposed development nevertheless qualifies as a Condominium Hotel if it finds that the proposed development, together with any related covenants, conditions, restrictions, or agreements between the developer and the Town, will ensure that at least the same number or a greater number of the condominium hotel units will be occupied for the same or a greater number of days each year as a Condominium Hotel that meets all of the requirements in subsections a through e above.

Entertainment -- A facility providing entertainment or recreation activities, including but not limited to theaters, bowling alleys, nightclubs, game centers, gymnasiums, health clubs, and climbing wall centers or rooms that can be rented for parties or events, where all activities take place within enclosed structures. This use does not include a conference center, adult arcade, adult bookstore, adult video store, adult novelty store, adult cabaret, adult entertainment establishment, sexually oriented business, adult motel, adult motion picture theater, or adult theater.

Makerspace/Craft Industry – a facility that contains one or more artists or craft industries. A makerspace is a community center that includes manufacturing equipment, community and education for the purposes of enabling individuals to design, prototype and create manufactured works. A craft industry encompasses goods that are handmade by artisans or those skilled in a particular trade, including but not limited to art galleries, handmade textiles, food, beverages, and culinary products. Products made on site may also be sold on site. No such individual facility shall be larger than 6,500 total square feet.

Small Business Incubator -- A facility operated to encourage and support the growth and success of entrepreneurial companies by providing a variety business support resources and services, including but not limited to physical space, coaching and mentoring services, access to financing, networking connections, shared supply purchasing, or shared data systems and resources.

The following additional amendment is proposed for Section 16-21 of the code

Section 16-21 describes the intent of each of the zoning districts in the Town. The language below uses the same language as included in included in the current draft of the Amended CSC Zone District. The strike through and underlined language below shows the changes to the current code.

Sec. 16-21 Intent of individual districts

...

(11) Community Serving Commercial Zone District. The intent of the CSC Zone District is to combine the social capital objectives of the Town's Master Plan with the vitality objectives of the C-2 zone district to produce tailored zoning controls for four key redevelopment parcels in downtown Basalt in order to implement the results of the Our Town downtown planning process. The scale and character of development authorized in this zone district may allow buildings that are larger and more multi-faceted than areas zoned C-2 (Downtown Business) or P (Public). ~~The zone district offers certain incentives to encourage qualifying non-profit organizations to create projects that might not occur through pure free market development. These incentives include reductions in certain mitigation standards and a review process that is better tailored to non-profit applicants. The goal is to foster partnerships between non-profit organizations and private entities to address important community goals.~~

MEMORANDUM

To: Chair and Basalt Planning and Zoning Commission
From: Susan Philp, AICP Basalt Planning Director
Date: July 5, 2016
RE: Public Hearing- Roaring Fork Conservancy River Center and Old Pond Park Land Use Approvals

I. Purpose

The Roaring Fork Conservancy and the Town of Basalt (together the "Applicant") are seeking amendments to existing approvals to permit the River Center and additional park and road improvements. The Town owns all of the land covered by the application. The area within the application includes the area which the Conservancy is now leasing from the Town and portions of Old Pond Park and Two Rivers Road which are programmed for improvement.

II. Background

In 2005, the Town sold .37 acres to the Roaring Fork Conservancy to construct a River Center. The Town Council granted development approvals to the River Center in 2010 and amended those approvals in 2011. The Conservancy's amendments in 2011 were primarily in response to comments from the P&Z and Council which were incorporated into the Town's approvals. The changes were made largely to reduce the visual impacts of the River Center and improve its relationship to the pond and park. In 2015, the Town required RMI to move its building eastward in order to give more room for the River Center and additional land area around the pond. The Town then amended the plat, giving 10 more feet on the eastern boundary of the original Conservancy parcel and creating an amended Lot 1 of the Basalt Riverfront Park Plat of .401 acres.

The Conservancy has spent the last few years continuing to refine its building to meet its needs and to raise funds to build the River Center. The building is now smaller and has less of a footprint than originally approved by the Town.

The Town has been anxious to see the construction of the River Center. The Town entered into a pre-development agreement with the Conservancy in 2014 which set into motion the path which includes this approval.

The Town bought back the .29 acre parcel earlier this year for the same price that the Conservancy purchased it from the Town. The purpose was to give the Conservancy funds for construction of the River Center.

III. Description of the Application

The application is for a Site Plan Review Approval and Environmentally Sensitive Area (ESA) Environmental and Floodplain Review in Reach II of the Roaring Fork River and includes, but is not limited to:

- 1) Amendments to Conditions included in Ordinance No. 08, Series of 2010 and Ordinance No. 07, Series of 2011 which approved the River Center and rezoned Lot 1 of the Basalt Riverfront Park Subdivision to "P" Public; and,
- 2) An ESA Exemption for certain public improvements related to the proposal; and,
- 3) Modifications to the ESA and Site Plan approvals granted by Ordinance No. 13, Series of 2013 related to Old Pond Park; and,
- 4) Modifications to the land use approvals granted by Resolution No. 08, Series of 2004 to allow additional amenities in Old Pond Park; and,
- 5) Extension of Vested Rights for the River Center granted by Ordinance No. 21, Series of 2014 to correspond with the new approvals.

IV. Review Process

The P&Z makes a recommendation to the Town Council on the Application. Staff is recommending that after the Town Council's approval by ordinance that the Final Plan application materials be forwarded to the P&Z for action without the necessity of going onto the Council for Phase I of the Application unless the Applicant wants to appeal to the Council. Phase II would require the Final Plan application to be reviewed by both the P&Z and Town Council.

Ultimately, the Conservancy would like to start construction on the foundation yet this fall.

V. Discussion Items

1. Consistency with Master Plan

Staff believes that the proposed River Center supports the goals in the 2007 Basalt Master Plan and supports the efforts of the 2015 Our Town Planning Area Master Plan Amendment. The Two Rivers Road Greenway Master Plan is also incorporated into the

Town's Master Plan. Planning Staff finds that the street, parking, and sidewalk/trail connections are consistent with the Two Rivers Greenway Master Plan.

2. Support from the Town for the River Center

The Town Council has taken several actions to support the River Center. In 2014, the Town entered into a Pre-development Agreement with the Conservancy. That agreement outlined that the Town would purchase back Lot 1 of the Basalt Riverfront Park Plat from the Conservancy. The Town's concept was that the Conservancy will use the funds for construction of the River Center. The Town also agreed to an additional \$100,000 contribution. Currently the Town is applying the Conservancy's costs related to the land transaction and engineering necessary for the land use permitting process toward that \$100,000. The Town took title in April of this year and simultaneously leased back to the Conservancy that portion of the lot they need for the River Center. This application includes a request to slightly increase the land area needed under the lease for Phase II.

3. Proposed Building Architecture and Relationship to Old Pond

Staff believes that the River Center is much improved over earlier iterations. The building structure has been moved 10 feet away from the pond and there is now room for ADA access to the pond and trail without significant terracing or retaining walls.

4. Two River's Road Configuration and Parking

The configuration of Two River's Road in this area was established by the 2007 by the Two River's Greenway Plan. That Plan was adopted to reflect the Town's vision for improvements to the Two Rivers Road corridor. The general goal of the Greenway Plan is to enhance recreational use within the corridor while maintaining two-way vehicular traffic. The Greenway Plan includes a number of improvements including a trail and related pedestrian amenities, additional on-street parking and other amenities such as enhanced river access for fishing and boating.

The Two River's Road alignment was then further detailed in the Town's approval of RMI. At that time the Town approved making the parking spaces perpendicular instead of angled and the Town agreed that the Conservancy's street configuration would be changed to match.

The engineering and site plan drawings included in the Application are consistent with the Two River's Greenway Master Plan and the RMI plans. Note that the Police Chief is concerned with the parking on the north side of Two River's Road. See below.

The P (Public) Zone District provides that the parking requirements will be determined through the site plan review process based on the Town's parking requirements for uses outlined in the code for similar uses, but the Town Council may apply a reduction

based on hours of operation, mixed-use access to on-street parking, transit availability and contribution to the social capital needs of the Town. The River Center parking proposal includes 13 spaces on both sides of Two River's Road along with implementation of Travel Demand Management (TDM) measures. Staff supports the parking proposal with details on how the TDM system works to be outlined in the Final Plan Application. See Conditions Nos. 17. This is generally consistent with the Conservancy's approvals in 2010 and 2011 where the Conservancy was to be given credit for 10 parking spaces for building a pathway in front of what is now RMI's building. The pedestrian improvements being required by the Conservancy are fairly substantial as the Conservancy is required to construct the sidewalks on both sides of Two River's Road along with the concrete pedestrian crosswalk and chicane in Two River's Road which connects the two sidewalks.

The calculations for the parking needed by the River Center are provided below. The parking rates are the same as used for the Basalt Regional Library and RMI and are consistent with that established in the Conservancy's 2010/2011 approvals.

	Blg SF	Parking/SF 4 spaces per 1000 SF	Staff Parking (at 1 space per 2FTE)	Town Parking Requirement	Parking Provided	Parking Scenario Proposed by Staff
Phase 1	4,200	11	4	15	13	Credit for pedestrian improvements + TDM
Phase 2	2,000	5	2	7	0	To be determined potential credit for TDM
Total	6,200	16	6	22	13	

Basalt Police Chief Knott expressed his concerns with parking. His preference is to put all of the parking on the south side of Two River's Road and to extend parking east and west of the current proposed parking. Chief Knott thought you could add a fair amount of parking in this manner. See the comments from Greg Knott to Susan Philp dated June 13, 2016 which are attached. Planning Staff asked Sopris Engineering to look at the Chief's proposal by realigning Two River's Road to the north. The first effort was not feasible because: the improvements would extend into jurisdictional wetlands, the need to preserve the radius into the RMI parking area which serves as the emergency access to both buildings and the park, and the Town has an irrigation system pump enclosure which stands in the way. There are additionally other floodplain considerations and the improvements affect the ability to provide ADA access to the park as planned. Planning Staff has asked Sopris Engineering to make another attempt with slightly different assumptions and we will report on this effort at the meeting. Staff notes that we could remove the parallel parking on the north side but the Chief indicated to Planning Staff that maximizing the number of parking spaces in his view is the priority.

Staff also notes that we also asked Sopris Engineering to revise the plans dated May 20th as included in the application to add additional length to the perpendicular parking spaces consistent with the plan Loris had laid out last year. Due to a misunderstanding, the engineers had reduced the length as they thought the Town wanted to be exactly the same as the RMI plans. Instead, Staff would like a transition to the shorter spaces in RMI. See also the attached letter from the Fire Department.

5. Pedestrian Connections

As noted above in the analysis of parking above significant pedestrian connections are included in the Application. The sidewalk in front of the Conservancy is currently shown as 12 feet but will be reduced to allow the parking spaces to be increased in depth. A sidewalk connection is shown on the north side of Two River's Road. A 5 foot-wide trail along Old Pond Park is included which accesses the rest of Old Pond Park and ADA access to the Pond is provided.

In their referral comments RFTA encourages the Town and Conservancy to promote safe walking and biking to/from the downtown area with a safe, separated walking/biking path along Two Rivers Rd during construction and beyond (see email from Jason White, RFTA Assistant Planner, dated June 22, 2016). Staff notes that the Town is working on this. A temporary crusher path has been installed in front of the existing angled parking spaces near the bus stop on the north side of Two River's Road and Staff is working on other ideas for increasing the safety for pedestrians walking along Two River's road. Staff also notes that POST has been working on the plans for Two River's Road in front of the River Park as part of the Our Town Planning Project. Those plans move the bus stop closer to the River Center.

6. Phasing

The 2010 and 2011 plan showed three phases for a larger building of 8,055 square feet (with additional flexibility square footage allowed). The Conservancy is presently proposing two phases. This approval will set in motion the entire program but the Conservancy will need to have the second phase reviewed by the P&Z and approved by the Town Council. At that time the Council will have a better idea of the parking needs and availability in the area.

7. ESA Floodplain and Environmental

The TRC found that the application satisfied the requirements in the Town code regarding development in Reach II of the floodplain and other environmental considerations. See the ESA application materials. The proposed development is not impacting jurisdictional wetlands.

8. *Old Pond Park Improvements*

The approvals include upgrades to the Old Pond Park facilities. The improvements include an ADA accessible pathway from Two River's Road around the pond, plantings and irrigation improvements, new park benches and trash receptacles. The approvals include an ADA accessible fishing pier in Old Pond. The larger pier design was selected by the POST Committee partially in response to the growing need for such as facility and because of reduced fishing at Lake Christine. The approvals also include a Wetland Garden and Outdoor classroom adjacent to the Roaring Fork Conservancy's River Center Building.

9. *Vested Rights*

Staff has drafted the condition on vested rights to correspond to the Performance Deadlines in the lease agreement that the Town has with the Conservancy.

VI. **Technical Issues:**

Fire District Requirements:

Fire Marshall Bill Harding provided referral comments in his letter to Susan Philp, Planning Director dated June 20, 2016. The Fire Department noted no significant issues. The Department acknowledged the need to lengthen the depth of the parking spaces. Staff included a condition requiring compliance with the Fire Department's referral comments.

Basalt Sanitation Requirements:

The comments by the Basalt Sanitation District are attached. Staff included a condition requiring the applicant to comply with the comments made by Denise Diers in her email dated June 29, 2016 and by Wyatt Popp, PE, Olsson Associates in his comments letter dated June 29, 2016.

VII. **Recommendation**

Staff recommends that the P&Z hear a brief presentation from Staff and the Applicant, open the public hearing and have Council discussion.

Staff recommends that if the P&Z is comfortable that the P&Z recommend approval with the attached conditions. The conditions amend prior conditions of approval for the River Center contained in Ordinance No. 08, Series of 2010 and Ordinance No. 07, Series of 2011 which approved the River Center and rezoned Lot 1 of the Basalt River Center to P Public, and Ordinance No. 21, Series of 2014 to correspond with the new approvals. The new conditions also permit the new and revised improvements to Old Pond Park and Two Rivers Road and amend the Town's prior approvals on Old Pond Park.

Attachments

Proposed Conditions of Approval

Referral Comments

Letter from William Harding, Fire Marshall, Basalt and Rural Fire Protection District dated June 20, 2016

Email from Denise Diers, Basalt Sanitation District, dated June 29, 2016

Letter from Wyatt E. Popp, PE, Olsson Associates dated June 29, 2016

Memorandum from Gregory M. Knott, Chief of Police dated June 13, 2016

Email from Jason White RFTA Assistant Planner, dated June 22, 2016

Compare document

Application (can be downloaded from Planning Department's page on the Town's website www.basalt.net)

**Revised Conditions
Roaring Fork Conservancy River Center**

**Proposed Revisions to Ordinance No.08
Series of 2010 as amended by Ordinance No. 07, 2011**

1. The Conservancy and the Town shall comply with all the material representations made in the application and meetings before the Planning and Zoning Commission and Town Council.
2. At any time after approval of this ordinance and as a prerequisite to obtaining a building permit for the River, the Conservancy shall prepare a Final Plan for approval by the Planning and Zoning Commission (P&Z) for that Phase.
3. Before building permit for each phase of the development, the Conservancy shall obtain approval by the Town for a complete set of "detailed plans" as part of the Final Plan approval. The detailed plans shall include: an architectural plan, landscape plan, lighting plan, signage plan, engineering plan, and a plan for pedestrian access and the other detailed plans required elsewhere in this ordinance. After approval of detailed plans by the Town, insubstantial amendments to the approved detailed plans may be reviewed and approved by the TRC if said amendments are found to be generally consistent with the existing approvals.
4. The detailed plans for Phase I shall require review and approval by the P&Z following a public hearing. The action of the Planning and Zoning Commission will be the final action unless the Conservancy appeals the decision of the P&Z to the Town Council. The Town Council shall consider the appeal at a duly noticed hearing. The P&Z and the Town Council action may be in the form of a motion. The Town Planner may waive the requirement for the public hearing before the P&Z.
5. The detailed plans for Phase II shall require review and recommendation by the P&Z following a public hearing and final approval by the Town Council following a public hearing. The Town Council action shall be by ordinance.
6. Amendments found not to be consistent with the existing approvals may be processed as a substantial amendment. A substantial amendment shall require a recommendation by the P&Z at a duly-noticed hearing followed by an action of the Town Council at a duly-noticed hearing in the form of an

ordinance. The Town Planner may choose to schedule the hearing jointly with the P&Z and the Town Council.

7. The Site Plan for the River Center and Old Pond Park Improvements is hereby approved as shown on **Exhibit B**. In order to accomplish the intent of this approval, it may be necessary to record other documents related to this approval as deemed necessary by the Town Attorney. The Mayor and Town Clerk are authorized to execute any document reasonably necessary to accomplish the purpose and intent of this approval. Unless waived by the Town Attorney, all required approval documents such as easements must be finalized for recording before the first building permit associated with Phase 1.
8. The Conservancy shall be required to pay all applicable impact fees. There are no Community Housing obligations for this site as the Conservancy initially submitted a complete site specific development plan prior to the amendments to the Community Housing Requirements which required non-profits agencies and other governmental entities to comply with the employee mitigation requirements or obtain a waiver.

The River Center shall comply with the Town's Sustainable Building Regulations.

9. Included in the following table are the dimensional requirements established in Town's approval:

Dimensional Requirement	Revised Plans
Minimum Lot Area	na
Maximum Building Height	32 ft. of building height Maximum 4ft. high solar panels above building height are permitted Provisions for vents above the height requirement is included in Condition No. 13 of this Ordinance. * Above finished floor established at an elevation of 6580 ft, to address ESA floodplain.
Maximum Number of Stores	2
Minimum East Side Yard	19 feet to East Lot line of Amended Lot 1

Setback	
Front Yard Setack	Zero (0) front yard setback
Building Envelope	4582_square foot building footprint as represented on site plan dated 5/18/16 No architectural features shall extend beyond the boundaries of the Building Envelope
Minimum open space requirements	na

10. The Phasing and Development Plan for the River Center is approved as follows:

Phase 1 - **4,200** square feet

Phase 2 - **2,000** square feet

Approved - **6,200** square feet

Additional flexibility square footage – For each phase, the P&Z may approve detailed plans that reflect up to a 9% increase in the square footage permitted upon the completion of that phase. However, in no circumstance shall the additional flexibility square footage exceed 558 additional square feet and a 250 square foot increase in the footprint of the building including Phase II shown on diagram prepared by Harry Teague Associates labeled Building Relationship to Amended Lot 1 Boundary dated May 20, 2016. The maximum size of the building the P&Z may approve with the flexibility square footage is 6,758 total square feet.

In approving detailed plans with the flexibility square footage, the Conservancy shall demonstrate to the satisfaction of the P&Z that the purpose of allowing for this additional square footage is not to allow for a bigger building but to allow the Conservancy to respond to unforeseen design, building code or efficiency issues that cannot be determined at the time of this approval or making the building more attractive to surrounding neighborhood. Examples include: making a restroom larger to address code issues, a change in the entryway that makes it more inviting to the public, enclosing utilities within the building instead of on the roof to reduce impacts on surrounding neighborhoods, or providing space for an unusual display feature. This does not release the Conservancy from satisfying the other conditions contained in this approval. Additional fees in lieu shall be provided for any additional parking required by the flexibility square footage.

11. The permitted use for the property shall be a River Center. Accessory retail and food service activities under the operation of the Conservancy may be permitted at the River Center. The Conservancy is allowed to serve food and beverage for events, meetings, and functions normal to the operation of a not-for-profit "nature education center". The kitchen space is to be utilized as typical kitchen space for both office staff and occasional event food service. The Conservancy is not permitted to have a full service restaurant. The Conservancy may have vending machines. An area devoted to retail sale of books, videos, and other items typically sold by a not-for-profit "nature education center" is permitted with profits to the Conservancy without additional Town approval so long as the conditions outlined herein are met. The retail and food service space shall not exceed 300 square feet. A larger space shall require review and approval by the TRC, which shall have the discretion to require an amendment to the Town's approval. The TRC shall have the discretion to determine whether or not a food service operation is a full service restaurant. The retail and food service space shall not have an advertising sign visible from outside of the building. The reason for these limitations is to ensure that the River Center supports the downtown area and other Basalt businesses and that any primary commercial activities are subject to the same requirements as private developments (such as affordable housing and parking mitigation).
12. The conceptual architectural design for the development is approved as included in the Application. The detailed architectural plan shall be reviewed and approved by the P&Z before building permit for Phase I and shall be reviewed and approved by the Town Council before building permit for Phase II following a recommendation by the P&Z.
13. The Conservancy shall not place HVAC and mechanical equipment on the roof except for the following:
 - A. Flues and vents required by the Building Code to be vented through the roof, but the height and mass shall be the minimum required to meet the Building Code requirements in order to respect the integrity of the roof design;
 - B. Solar panels and associated mechanical equipment that extend up to a maximum of 4 feet above the building height.
14. The Final Site Plan for each phase of the River Center shall also include a detailed utility plan to be reviewed and approved by the Town showing the location and design of utility installations including utility boxes, pedestals,

transformers, mailboxes, and trash dumpsters. These facilities shall be installed to meet the aesthetic goals of the Town.

15. Prior to building permit submission for each of the respective phases, the Conservancy shall provide a detailed landscape plan to be reviewed and approved by the Town for its Lease area and for the areas under the responsibility of the Conservancy to make improvements (See Exhibit C) plus any other area where the Conservancy proposes to place landscape improvements.
16. The Conservancy shall be responsible for the installation of all approved streetscape improvements along north façade of the River Center building adjacent to Two Rivers Road as for the area shown on Exhibit C. The Final Plan shall be amended to revise the curb approach on the perpendicular parking spaces to allow for better and more efficient snow removal.

The Town shall be responsible for the installation of the required park and street improvements for the area shown as the Town's responsibility on Exhibit C. The Final Plan shall be amended to increase the depth of perpendicular parking spaces and additional area for the drain pan per the discussion of Sopris Engineering and the Town Planner.

17. Prior to building permit submission, the Conservancy shall submit a detailed signage plan for the River Center for review and approval by the Town. The plan shall be reviewed for compliance with the signage regulations for the C-1 Zone District established in Town Code Chapter 16, Article VII, *Signs* and any sign lighting shall be fully shielded and down directed. Staff shall be responsible for ensuring that the signage for Old Pond Park and the wetland demonstration garden satisfies the Town's park sign plan. Nothing restricts Staff from having the details of the park signage reviewed by the Parks, Open Space and Trails Committee.
18. The trail plan for the River Center and Old Pond Park, the pier and other associated improvements are approved as shown on the site plan from DHM dated May 20, 2016.
19. The Conservancy shall provide the lift (elevator) as included in the Revised Plans. The requirement to provide ADA accessible office space on the first floor is no longer required.
20. The parking requirement for the River Center shall be 13 spaces upon completion of Phase 1 based on the approval of a minor parking reduction

pursuant to the provisions of Section 16-28 (1)(d) of the Town Zoning Code as satisfied by this approval and the conditions described herein. No additional parking will be required by the Council for Phase II if the Conservancy demonstrates to its satisfaction after recommendation by the P&Z in the Final Plan review that the TDM measures required below are successful in managing parking for employees and guests of the River Center leaving sufficient parking for the public to access Old Pond Park. Based on the reports provided by the Conservancy and any study by the Town, the TRC may ask the Conservancy to upgrade its TDM measures if parking becomes a problem. If additional flexibility square footage is included in detailed plans approved by the P&Z, the additional parking requirements shown in the Staff memo dated July 5, 2016 shall apply to the additional floor area. The P&Z may determine that the additional flexibility floor area does not require parking or fees in lieu based on the particular reason for the flexibility square footage and the TDM measures in place. The Conservancy shall be responsible for the construction of all the parking associated with the River Center as shown on **Exhibit C**.

The Final Plan application will include Travel Demand Management (TDM) measures and monitoring for approval by the Town similar to what the Town required of RMI in Ordinance No. 26, Series of 2015 for approval by the Town in the Final Plan Application.

21. The Conservancy is permitted to propose alternate "green" paving surfaces and construction details to be reviewed and approved by the Town.
22. The Conceptual Engineering Plans are approved subject to the conditions contained herein.
23. As part of the construction for Phase 1, the Conservancy shall be responsible for extending the existing water line to the site.
24. The River Center project shall satisfy the referral comments made by Denise Diers in her email dated June 29, 2016, the comments from Wyatt E. Popp, PE Osson Associates to Susan Philp, Planning Director, dated June 29, 2016 and any requirements contained in the line extension agreement the Town has with the District which would pertain to the River Center.
25. The Conservancy shall be responsible for extending or upgrading utility services, including gas, telephone, and cable television as necessary to provide service for River Center.

26. Prior to issuance of a building permit for each phase of the project, the Conservancy shall provide cost estimates from a licensed engineer to the Town Engineer for all of the necessary improvements required by the Conservancy for that phase and shall provide the security for all public and essential improvements in a form acceptable to the Town Attorney. The cost estimates are subject to approval by the Town Engineer. The Conservancy shall execute a Development Improvements Agreement approved by the Town Attorney before building permit for each phase. The secured improvements shall include at a minimum those improvements shown as the Conservancy's responsibility on **Exhibit C**.
27. At the time of this approval, the funding for the Wetland Demonstration Garden had not been secured. Until funding is secured the interim grass planting is approved as shown on the Preliminary Planting Plans and Plant List and Notes dated May 20, 2016 prepared by DHM.
28. Prior to building permit submission for Phase 1, the Conservancy shall submit a geotechnical report and final drainage study for the River Center to be reviewed and approved by the Town Engineer.
29. Prior to building permit submission for each phase of the River Center, the Conservancy shall be required to provide a final Construction Management Plan describing at a minimum, the proposed construction staging, parking and phasing to be reviewed and approved by the Town.
30. Based on representations in the application, the project shall be constructed without impacts to the 100-year floodplain.
31. The River Center project shall satisfy the referral comments made by Bill Harding, Fire Marshall in his letter dated June 20, 2016 to Susan Philp, Planning Director.
32. The responsibilities and costs associated with the design and construction of the River Center, Two Rivers Road and Old Pond Park Improvements are shown on the Site Responsibilities Diagram shown as **Exhibit C**.
33. If the Town constructs any of the required improvements under the Conservancy's obligation, the Applicant shall reimburse the Town with consideration given for any of the additional \$100,000 infrastructure improvements that remain at that time as initially agreed to in the Pre-development Agreement between the Town and the Roaring Fork

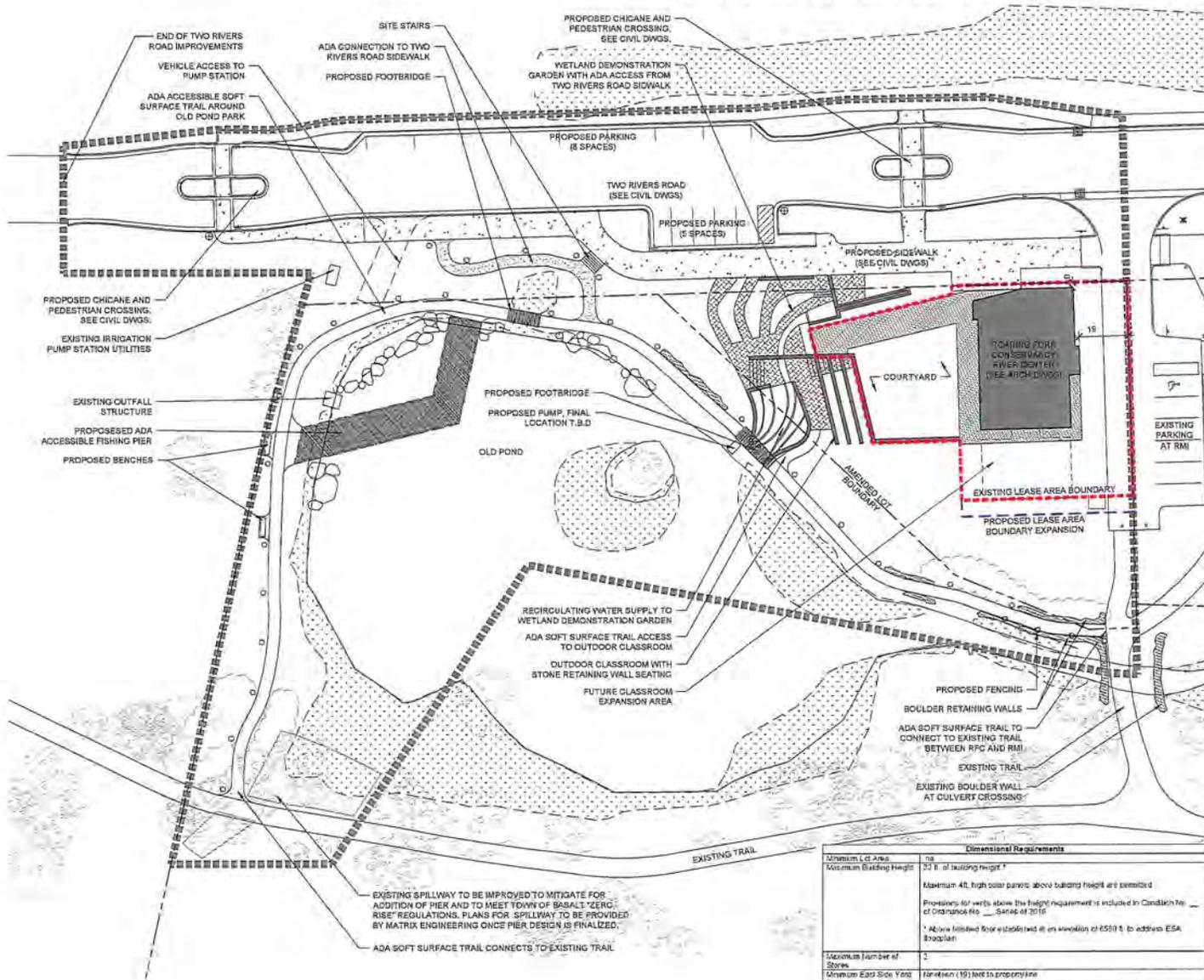
Conservancy dated August 29, 2014. However, nothing restricts the Town from entering into a program with the Applicant to creatively fund the improvements as provided in Condition No. 34.

34. Due to the importance of the River Center to the Town of Basalt, both the Town and the Conservancy agree to work together to seek grants and other creative funding means for constructing the River Center and the Two Rivers Greenway Master Plan improvements without overburdening the Town's fiscal capacity.

MISCELLANEOUS AND LEGAL

35. The approvals and conditions contained herein shall be binding on and inure to the benefit of the heirs, successors and assigns of the Applicant and the owners of the Property.
36. This Ordinance, after fully executed, shall be recorded in the office of the County Clerk and Recorder.
37. If any part, section, subsection, sentence, clause or phrase of this Ordinance is for any reason held to be invalid, such decision shall not affect the validity of the remaining portions of this Ordinance and the Town Council hereby declares it would have passed this Ordinance and each part, section, subsection, sentence, clause or phrase thereof regardless of the fact that any one or more parts, sections, subsections, sentences, clauses or phrases be declared invalid.
38. The vested rights for Phase I of the River Center are granted as approved herein until April 15, 2019, which corresponds to the Performance Deadline included in the Town's Lease agreement with the Conservancy recorded in the Eagle County records as Reception No. 201605270. If a building permit for the River Center is not issued within the April 15, 2019 vested rights period or may be extended, the approvals granted for this amendment shall expire. The approvals shall also expire if for some reason the Conservancy no longer has a valid lease with the Town. The vested rights for Phase II will be granted at the time of Final Plan approval for Phase I.
40. The P&Z recommends that the area of the Lease Agreement be expanded as shown on **Exhibit B**.

EXHIBIT B - SITE PLAN



- NOTES:**
- SEE CIVIL PLAN FOR ALL UTILITY LOCATIONS, CIVIL ENGINEER TO VERIFY EXISTING AND PROPOSED UTILITY LOCATIONS AND REQUIREMENTS AND IDENTIFY ANY CONFLICTS WITH PROPOSED SITE DESIGN.
 - SEE CIVIL ENGINEERS GRADING PLAN FOR ALL GRADING INFORMATION.
 - REFER TO CIVIL ENGINEERS CONSTRUCTION DRAWINGS FOR EROSION CONTROL PLANS AND DETAILS.
 - EXISTING WETLANDS AROUND OLD POND ARE "TO REMAIN", DISTURBANCE TO EXISTING WETLANDS IS NOT PERMITTED AT ANY TIME UNDER ANY CIRCUMSTANCE, SHOULD DISTURBANCE TO WETLANDS BECOME NECESSARY, CONTRACTOR TO CONTACT OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK IN THAT AREA.
 - LAYOUT AND QUANTITY OF PROPOSED LIGHT FIXTURES IS APPROXIMATE, FINAL FIXTURE TYPES, LOCATIONS AND QUANTITIES TO BE COORDINATED WITH TOWN OF BASALT AND PROJECT LIGHTING DESIGNER.
 - PROPOSED PLANS FOR OLD POND INCLUDE AN ADA ACCESSIBLE FISHING PIER, DESIGN OF FISHING PIER TO BE COORDINATED WITH HYDROLOGICAL ENGINEER TO MEET TOWN'S "ZERO RISE" REGULATIONS, ADDITIONAL VOLUME OF PIER MAY BE OFF-SET THROUGH IMPROVEMENTS TO THE EXISTING SPILLWAY AT OLD POND, PLANS WILL BE SUBMITTED TO THE TOWN FOR FINAL APPROVAL.
 - EXISTING TREES BETWEEN TWO RIVERS ROAD AND OLD POND THAT ARE WITHIN THE DISTURBANCE AREA FOR THE PROJECT ARE TO BE TRANSPLANTED WHERE FEASIBLE, LANDSCAPE ARCHITECT TO PROVIDE ANALYSIS OF FEASIBILITY AS WELL AS TRANSPLANT LOCATION OPTIONS.
 - WETLAND DEMONSTRATION GARDEN TO BE SUPPLIED BY RE-CIRCULATING PUMP FROM OLD POND, FINAL LOCATION OF PUMP TO BE DETERMINED.
 - RIVER CENTER BUILDING MAY BE CONSTRUCTED AHEAD OF WETLAND DEMONSTRATION GARDEN AND OUTDOOR CLASSROOM, SEE PRE-WETLAND GARDEN INSTALLATION PLAN ON SHEET L2.1 FOR INTERIM PLANTING, SEE CIVIL GRADING PLAN FOR INTERIM GRADING CONDITIONS.

LEGEND

- ▬ SITE PLAN AREA
- - - - - EXISTING LEASE AREA BOUNDARY
- - - - - PROPOSED LEASE AREA BOUNDARY EXPANSION
- PROPOSED FENCING
- ▨ CONCRETE PATH
- ▩ SOFT SURFACE TRAIL
- ▧ PAVING (MATERIAL T.B.D.)
- ▩ BOULDER LANDSCAPE WALLS
- ▬ SITE WALLS
- ⊕ LIGHT FIXTURE (OVERHEAD) APPROXIMATE LOCATIONS
- ⊕ LIGHT FIXTURE (BOLLARDS) APPROXIMATE LOCATIONS
- PROPOSED BOULDER AROUND OLD POND
- ▨ EXISTING WETLANDS TO REMAIN
- ▩ EXISTING VEGETATION TO REMAIN

Dimensional Requirements	
Minimum Lot Area	na
Maximum Building Height	32 ft. of building height *
	Maximum 4ft. high solar panels above building height and permitted
	Provisions for vents above the height requirement is included in Condition No. of Ordinance file ... Series of 3015
	* Above finished floor established @ an elevation of 5581.4, to address ESA floodplain
Maximum Number of Stories	3
Minimum Edge Side Yard Setback	Varies (15) feet to property line
Front Yard Setback	Zero (0) front yard setback
Building Envelope	4500 square foot building footprint as represented on site plan ATC1 site plan case 2015
Minimum open space remaining	no architectural features shall extend beyond the boundaries of the Building Footprint

DMM DESIGN
 ARCHITECTURAL ARCHITECTURE
 1500 S. 200TH ST. SUITE 100
 FEDERAL HEIGHTS, CO 80122
 303.440.0000
 WWW.DMMDESIGN.COM

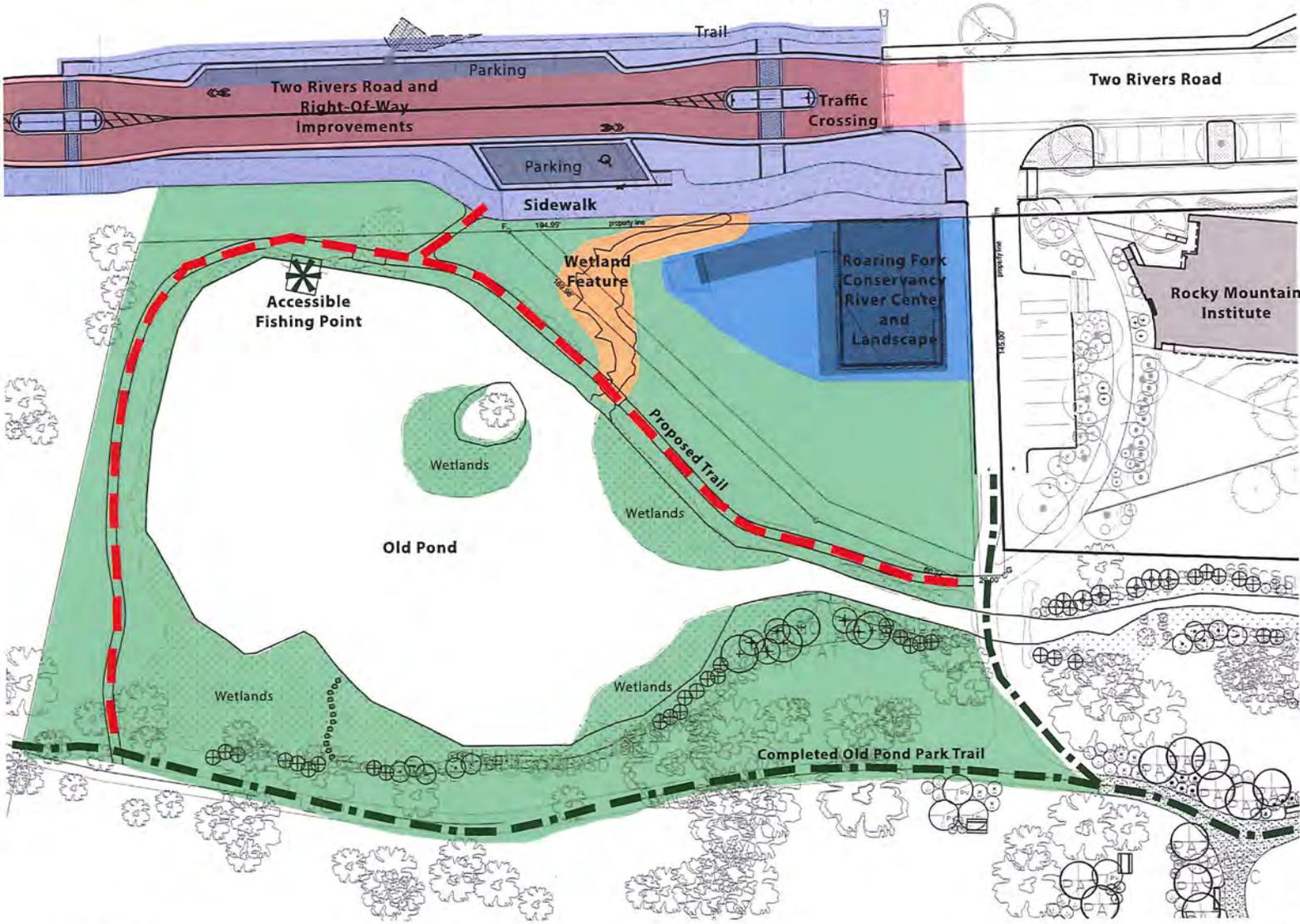
PROJECT NUMBER: 2016.02.20
 DESIGN: 2016.02.20
 DESIGN: 2016.02.20
 DESIGN: 2016.02.20

JOB DESCRIPTION:
 LAND USE APPLICATION

SHEET TITLE:
 SITE PLAN

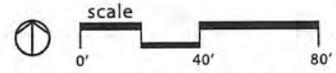
SHEET NUMBER:
L1.0
 SHEET OF

EXHIBIT C SITE RESPONSIBILITIES DIAGRAM



DESIGN AND COST ALLOCATION LEGEND

- Two Rivers Rd and ROW improvements
Initial Design: DHM, Loris
Improvement Cost: RFC
- Two Rivers Rd and ROW improvements
Design: DHM, Loris
Improvement Cost: Town of Basalt
- Old Pond Park Trail improvements
Design: DHM, Town of Basalt
Improvement Cost: Town of Basalt
- Wetland Feature
Design: DHM, RFC
Improvement Cost: T.B.D.
- Roaring Fork Conservancy River Center and Landscape
Design: RFC
Improvement Cost: RFC
- New Trail
- Constructed Trail



SITE RESPONSIBILITIES DIAGRAM

ROARING FORK CONSERVANCY / TOWN OF BASALT
2015.11.17

Referral Comments



Basalt & Rural Fire Protection District **“Protecting Our Community Since 1970”**

6-20-16

Susan Philp, Town Planner
Town of Basalt
101 Midland Basalt Colorado

Re: Ordinance Amendment Request Roaring Fork Conservancy

Dear Susan,

After review of the application, inclusive of the ESA Narrative as presented by Stephanie Helfenbein of Sopris Engineering and phone consultation with you I offer the following.

It's my understanding that this application serves as an amendment request of Ordinances as they pertain to the Roaring Fork Conservancy project for implementation at Old Pond Park area. The Conservancy in conjunction with the Town has an agreement whereby the Town is the owner of the property that will enter into leasing with the Conservancy. The Conservancy will be constructing a building that has a smaller footprint than previously established down to a total of 6200 ft² to be developed in two phases. The Town will be enhancing the difference in area of the park to include wetland demonstration gardens and an ADA compliant fishing pier.

Access:

Access essentially remains the same as previous. The department in order to meet its operation requirements will need the tee off of Two Rivers Road to still be a Fire Lane Only, signed as such, along with a red painted strip on the curb length.

As learned for the parking for RMI, the perpendicular parking on the south side does need to be a minimum of two feet deeper to prevent any obstruction of the requisite width requirement of the fire code toward Two Rivers Road.

Water Supply, Utilities and Hydrant Placement:

A fire hydrant has already been installed in place that covers both of the buildings at the tee intersection off of Two Rivers Road. The plan all along is for an engine to be able to enter the tee fire lane connect to this hydrant and make the fire department connection for either building dependent on which is effected at the time. The requisite flow has been met as determined through previous testing for RMI.

Internal line sizing that provides domestic service and sprinkler service inside the building needs to be determined and approved by the Fire District prior to installation. This determination will need to be confirmed at time of Building Permit Review, before issuance of any excavation permit.

1089 JW Drive, Carbondale, Co 81623
Phone:(970) 704-0675 • Fax: (970) 704-0625
www.basaltfire.org

Building and Fire Code Applications, Fire Sprinkler Systems, Fire Alarm Systems:

As previously stated the entire building starting with phase one will have installed fire protection features inclusive of:

- Installed fire suppression automatic sprinklers that shall meet the NFPA 13 Standard, Installation Standard for Automatic Fire Sprinkler Systems.
- Fire Alarm System installation meeting NFPA 72, Fire Alarm and Signaling Code as designed for Assembly Occupancies and business use.

The Fire District can support this application. Again thanks for your time in helping better understand this amendment request. If I can be of further assistance in regards to this endeavor please contact me at your convenience.

Sincerely,

William L Harding

Bill Harding, Fire Marshal

Cc: Scott Thompson et al, Fire Chief
Yanci Nichol P.E., Sopris Engineering
Stephanie Helfenbien EIT, Sopris Engineering
James Lindt, Asst. Town Planner
Jim Wilson, Chief Building Official

Susan Philp

From: Denise Diers <dediers1@gmail.com>
Sent: Wednesday, June 29, 2016 6:44 PM
To: Susan Philp
Cc: Basalt Sanitation District; Wyatt Popp
Subject: Re: Roaring Fork Conservancy Review

Susan,

As an FYI - since the facility plans on having a kitchen, it will need to include a properly sized grease trap.

Also, if a sump pump is installed in the elevator/lift pit, it is required to be connected to the sanitary sewer by the plumbing code but is not allowed per the District's Rules and Regs. This issue was encountered with the RMI facility. The District established some extra requirements to monitor to prevent any possible ground water from being discharged into the sanitary sewer system.

On Wed, Jun 29, 2016 at 4:26 PM, Denise Diers <dediers1@gmail.com> wrote:
Susan,

Wyatt's comments are attached. Also, before a building permit can be issued, a sewer tap must be purchased. Phase 1 of the commercial building will require 1.50 EQRs at \$4900/eqr. This is based on gross floor area of 4200 sq feet, and no public restrooms for the park users. Please note that a Tap Fee Increase to \$5500/EQR is being proposed on August 10, 2016. It has already been approved by the Board and will take effect after the Public Hearing on Aug 10.

Please let me know if you have any questions.

--

Denise Diers
District Administrator
Basalt Sanitation District

O: [\(970\) 920-4921](tel:(970)920-4921)
F: [\(970\) 920-4117](tel:(970)920-4117)
dediers1@gmail.com

--



June 29, 2016

Basalt Sanitation District
Attn: Denise Diers
PO Box 527
227 Midland Avenue, Unit C2
Basalt, CO 81621

Re: Roaring Fork Conservancy
Site Plan Review

Dear Board of Directors:

Olsson Associates (Olsson) has reviewed the Application for the Roaring Fork Conservancy (Application). The Application is part of the Site Plan review and includes a Utility Plan, prepared by Sopris Engineering dated May 20, 2016. Olsson initiated the review on June 27, 2016 as directed by Denise Diers.

Olsson has not provided any previous reviews of the subject property. However, the sanitary sewer main associated with the Application was reviewed previously as a part of a separate project. The sanitary main that serves the Application is between BSD MH O-9A and O-9B.

The Application indicates that the existing sanitary sewer service will be extended to the building. It does not appear that there is any additional impact to the District facilities. Therefore, the Application is acceptable. However, the Utility Plan contained within the Application should be signed and sealed by licensed professional engineer in the state of Colorado.

Please contact me at 970.263.7800 if you have any questions related to the technical review referral comments.

Sincerely,

A handwritten signature in black ink, appearing to read 'Wyatt E. Popp'.

Wyatt E. Popp, PE
Senior Engineer



Town of Basalt Police Department

100 Elk Run Drive, Suite 115

Basalt, CO 81621

(970) 927-4316

June 13, 2016

To: Susan Philp
Planning Director

From: Gregory M. Knott
Chief of Police

Ref: Referral comments regarding the Roaring Fork Conservancy River Center and Old Pond Park improvements.

I have reviewed the proposed application submitted by the Roaring Fork Conservancy and the Town of Basalt for the Roaring Fork Conservancy River Center and improvements to Old Pond Park. Below are my comments, questions and suggestions regarding these proposals:

- I am concerned with the limited number of proposed parking spots and the location of parking near the River Center and Old Pond Park. Site plan drawings indicate a total of 13 parking spots to be developed for the Center and Park use. The plan does not show required handicap parking spots which must then be subtracted from the total number of spots indicated on the drawings. It must be noted, in my opinion, that 13 proposed parking spots for a high use facility and public park is very inadequate and will lead to parking conflicts during higher usage periods.
- There are no parking spots located in front of, or on, the property of the River Center and I must assume employees and volunteers will park on Two Rivers Road. This will limit the number of parking spots available to River Center visitors and Old Pond Park users. Limited parking at the Center and Park will require users to find parking in other areas of Town and walk. I also believe the Roaring Fork Conservancy will hold large meetings and fundraising events which will bring several people to the Center. Where will these people park and safely walk to the Center, often at night in darkness?
- The Center and Park will be used for educational programs throughout the year. I envision area schools bringing children to the Center and Park on a frequent basis. Where will school buses park and, if required to park several blocks away from the Center, how do we ensure the safety of small children walking along Two Rivers Road in areas where there is no curb, gutter or improvements to separate traffic flow from pedestrians?
- The proposed on-street parking indicates parallel vehicle parking along the north side of Two Rivers Road. Drawings show the roadway is narrowed in the area of the parking spots for traffic calming purposes. It appears, from the scale of the drawing, that vehicles parked in the parallel parking spots will be opening driver side car doors into the oncoming traffic lane. The narrowness of the street will also create issues for vehicles attempting to back out of parking spots nearest to the River Center.

- Another issue created by the parallel parking is the distance from parking spaces to the proposed pedestrian crossings. I do not believe people will park their car then walk on the northern sidewalk to the crossings. I foresee people crossing Two Rivers Road between the designated pedestrian crossings nearest to where their vehicle is parked.
- I suggest that all on-street parking be located on the south side of Two Rivers Road. By moving all parking to the south side of the roadway, with diagonal parking, I estimate a total of 30 parking spots could be created in front of the River Center and to the west end of the Park. This would eliminate individuals crossing Two Rivers Road on foot and car doors opening into oncoming traffic. The traffic calming devices and roadway narrowing should be kept in place to serve the purpose of slowing traffic.
- Drawings provided do not indicate emergency access to the south side of the River Center, Old Pond Park or the Roaring Fork River. When required by an emergency, these areas will need to be accessed by vehicles as large as an ambulance or fire department rescue vehicle.

If you have questions or need additional information please contact me.

Susan Philp

From: Jason White <jwhite@rfta.com>
Sent: Wednesday, June 22, 2016 10:55 AM
To: Susan Philp; James Lindt
Cc: David Johnson
Subject: Basalt LU Application Referral - River Center-Old Pond Park Application

Hi Susan,

Thank you for the quick chat this morning.

RFTA reviewed the referral application for the new Roaring Fork Conservancy River Center at Old Pond Park. The River Center site has great transit access, as the downtown local stop and BRT Stations are 0.3 and 0.7 miles away, respectively. We encourage the Town of Basalt and the RFC to promote safe walking and biking to/from the downtown area with a safe, separated walking/biking path alongside Two Rivers Rd (during construction and beyond). We are also pleased to hear that RMI established a WeCycle station next to the River Center.

Thank you for allowing RFTA to provide alternative transportation comments during the Basalt LU process.

Jason White

RFTA Assistant Planner

970-384-4968

Leave the car, ride your bike, grab a bus.....

From: Susan Philp [<mailto:susan.philp@basalt.net>]
Sent: Saturday, May 21, 2016 11:36 AM
To: Bill Harding; Bill Reynolds; Bob Narracci; Boyd Bierbaum; Brooke Stott; Clifford Simonton; crownmountain@sopris.net; David Johnson; 'Eva Wilson'; George Trantow (George.Trantow@vvh.org); Greg Knott; James Lindt; Jim Wilson; Louis Meyer; Mark Fuller (fulcon@comcast.net); Ray.Merry@eaglecounty.us; Rebecca Wagner; Rick; Roussin, Daniel; Russ Winder (rwinder@holycross.com); Scot Hunn; Shannon L. Pelland; Sharpe, Jason; Source Gas (ryan.echer@sourcegas.com); Temple Glassier; Yamashita - Matt
Subject: Basalt LU Application Referral - River Center-Old Pond Park Application

Referral agencies,

Attached is the link to the proposed application submitted by the Roaring Fork Conservancy and the Town of Basalt for the Conservancy's Proposed River Center and additional Improvements to Old Pond Park. The application is on property owned by the Town of Basalt. The Conservancy has a lease with the Town on the portion where the River Center is proposed. <http://co-basalt.civicplus.com/DocumentCenter/View/1777>

The Land Use application can also be found by going to the Planning Department's page on the Town of Basalt's website www.basalt.net

Please send us your comments by Monday, June 20th.

Feel free to contact me with any questions.

Thanks, Susan

Susan Philp AICP
Basalt Planning Director
101 Midland Ave.
Basalt, CO 81621
970-927-4701, ext 204
susan.philp@basalt.net

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This document shows the changes being prepared to the 2010/2011 conditions of approval for the River Center

Revised Conditions
Roaring Fork Conservancy River Center

Proposed Revisions to Ordinance No.08
Series of 2010 as amended by Ordinance No. 07, 2011

1. The Applicant Conservancy and the Town shall comply with ~~the all the~~ material representations made in the application and meetings before the Planning and Zoning Commission and Town Council.
2. At any time after approval of this ordinance and as a prerequisite to submittal of detailed plans obtaining a building permit for the project to River, the Town, the Applicant Conservancy shall prepare Revised Plans a Final Plan for a recommendation approval by the Planning and Zoning Commission and for approval by the Town Council ("Revised Plans"). ~~The Revised Plans shall reflect the changes identified in paragraph 12 (a), (b), and (c) below required by the Town Council in granting its conceptual approval during its second reading on this ordinance on June 22, 2010. If possible, the Town Planner shall schedule a joint meeting on the Revised Plans with the Planning and Zoning Commission and the Town Council. The Revised Plans shall require approval by the Town Council before submittal of the more detailed plans. The Council's approval will be in the form of an ordinance (P&Z) for that Phase.~~
3. Before building permit for each phase of the development, the Applicant Conservancy shall obtain approval by the Town for a complete set of "detailed plans" as part of the Final Plan approval. The detailed plans shall include: an architectural plan, landscape plan, lighting plan, signage plan, engineering plan, and a plan for the pedestrian/emergency access and trail and the other detailed plans required elsewhere in this ordinance. After approval of detailed plans by the Town, insubstantial amendments to the approved detailed plans may be reviewed and approved by the TRC if said amendments are found to be generally consistent with the existing approvals. ~~The detailed plans shall require review by the Planning and Zoning Commission and approval by the Town Council. However, in its review of the Revised Plans required in Condition No. 2, the Council may waive its review of the detailed plans including the granting of additional flexibility square footage, and in that case, the action of the Planning and Zoning Commission will be the final action unless the Applicant appeals the decision of the Planning and Zoning Commission. The Town Council shall consider the~~

~~appeal at a duly noticed hearing. The Planning and Zoning Commission and the Town Council action may be in the form of a motion.~~

- ~~44.~~ The detailed plans for Phase I shall require review and approval by the P&Z following a public hearing. The action of the Planning and Zoning Commission will be the final action unless the Conservancy appeals the decision of the P&Z to the Town Council. The Town Council shall consider the appeal at a duly noticed hearing. The P&Z and the Town Council action may be in the form of a motion. The Town Planner may waive the requirement for the public hearing before the P&Z.
5. The detailed plans for Phase II shall require review and recommendation by the P&Z following a public hearing and final approval by the Town Council following a public hearing. The Town Council action shall be by ordinance.
6. Amendments found not to be consistent with the existing approvals may be processed as a substantial amendment. A substantial amendment shall require a recommendation by the P&Z at a duly-noticed hearing followed by an action of the Town Council at a duly-noticed hearing in the form of an ordinance. The Town Planner may choose to schedule the hearing jointly with the P&Z and the Town Council.
- ~~5.~~ Within 180 days of the Revised Plan being approved by the Town Council and before building permit, the Applicant shall prepare and record a Site Plan consistent with the Town's approval for review by the Town Attorney and Town Planner. Also, 7. The Site Plan for the River Center and Old Pond Park Improvements is hereby approved as shown on Exhibit B. In order to accomplish the intent of this approval, it may be necessary to record other documents related to this approval as deemed necessary by the Town Attorney. The Mayor and Town Clerk are authorized to execute any document reasonably necessary to accomplish the purpose and intent of this approval. Unless waived by the Town Attorney, all required approval documents such as easements must be finalized for recording before the first building permit associated with Phase 1.
8. The Applicant Conservancy shall be required to pay all applicable impact fees. There are no Community Housing obligations for this site as the Applicant Conservancy initially submitted a complete site specific development plan prior to the new amendments to the Community Affordable Housing Requirements adopted by the Town. ~~Since the project was not considered a commercial use, it was not~~which required ~~to provide affordable housing non-~~

profits agencies and other governmental entities to comply with the employee mitigation for the proposed expansion requirements or obtain a waiver.

Phase 1 of the development The River Center shall achieve a minimum threshold score of 120 points pursuant to comply with the Town's Sustainable Building Regulations. The Phase 2 addition shall achieve a score of 120 points and the Phase 3 addition shall achieve a score of 130 points.

6. The Applicant shall mitigate for the removal of willows at a ratio of 2 to 1. Any proposed vegetation for replacement shall be reviewed and approved by the Town as part of the landscape plan requirements.

9. Included in the following table are the dimensional requirements established in Town's approval of the Revised Plans (provided all other conditions are satisfied). The final dimensional requirements shall be noted in the Site Plan recorded after approval of the Revised Plan:

Dimensional Requirement	Revised Plans
Minimum Lot Area	<u>0.37 acres na</u>
Maximum Building Height	<p><u>25 ft. of building height for Phase 1 unless the Town determines that up to 25 ft. in building height is justified due to cost considerations or building efficiency.</u></p> <p><u>18 ft building height for Phases 2 and 3 unless the Town determines that up to 20 ft. in building height is justified due to cost considerations or building efficiency.</u></p> <p><u>32 ft. of building height</u> Maximum <u>6ft4ft.</u> high solar panels above building height are permitted <u>in Phase 3.</u></p> <p>Provisions for vents above the height requirement is included in Condition No. <u>513</u> of this Ordinance.</p> <p><u>Maximum 23 ft. high (free standing) solar array.</u></p> <p>* Above finished floor established at an elevation of <u>6,5796580</u> ft. to address ESA floodplain</p>
Maximum Number of Stores	<u>2 for Phase 1</u> <u>1 for Phases 2 and 3</u>
Minimum Front	<u>0 ft. as shown on site plan</u>

Yard Setback	
Minimum Rear Yard Setback	8 feet, 11 inches minimum as represented on site plan A100 dated 2/4/11 Revised Plans.
Minimum East Side Yard Setback	12 feet as represented on site plan A100 dated 2/4/11 Revised Plans. 19 feet to East Lot line of Amended Lot 1
Minimum West Side/Front Yard Setback/Setack	8 feet, 11 inches as represented on site plan A100 dated 2/4/11 Revised Plans. Zero (0) front yard setback
Building Envelope	6,650-4582 square foot building footprint as represented on site plan A100 dated 2/4/11 Revised Plans. 5/18/16 No architectural features shall extend beyond the boundaries of the subject property. Building Envelope
Minimum open space requirements	8,000 square feet

10. The Phasing and Development Plan for the River Center is approved as follows:

- Phase 1 - ~~4,519,200~~ square feet
- Phase 2 - ~~1,547,000~~ square feet
- ~~Phase 3 - 1,989 square feet~~
- Approved - ~~8,056,200~~ square feet

~~The Applicant is permitted to construct Phase 3 before Phase 2 with the location, set-backs and square footage limitations for that phase remaining the same. If the Applicant chooses to construct Phase 3 before Phase 2, Phase 3 would assume the infrastructure requirements of Phase 2 and the subsequent Phase 2 square footage would trigger the Phase 3 infrastructure requirements.~~

~~For the purpose of this approval, all interior square feet are included except for wall thicknesses.~~

Additional flexibility square footage – For each phase, the ~~Planning and Zoning Commission~~P&Z may approve detailed plans that reflect up to a 9% increase in the square footage permitted upon the completion of that phase. However, in no circumstance shall the additional flexibility square footage exceed ~~725,558~~ additional square feet and a ~~500,250~~ square foot increase in the footprint of the building including Phase II shown on the site plan diagram

prepared by Harry Teague ArchitectsAssociates labeled Building Relationship to Amended Lot 1 Boundary dated 02/04/11 at the completion of Phase III. May 20, 2016. The maximum size of the building the Planning and Zoning CommissionP&Z may approve with the flexibility square footage is 8,7806,758 total square feet.

In approving detailed plans with the flexibility square footage, the ApplicantConservancy shall demonstrate to the satisfaction of the Planning and Zoning CommissionP&Z that the purpose of allowing for this additional square footage is not to allow for a bigger building but to allow the ApplicantConservancy to respond to unforeseen design, building code or efficiency issues that cannot be determined at the time of this approval or making the building more attractive to surrounding neighborhood. Examples include: making a restroom larger to address code issues, a change in the entryway that makes it more inviting to the public, enclosing utilities within the building instead of on the roof to reduce impacts on surrounding neighborhoods, or providing space for an unusual display feature. This does not release the ApplicantConservancy from satisfying the other conditions contained in this approval. Additional fees in lieu shall be provided for any additional parking required by the flexibility square footage.

11. The permitted use for the property shall be a River Center. Accessory retail and restaurantfood service activities under the operation of the ApplicantConservancy may be permitted at the River Center. The Applicant may sell food provided by others atConservancy is allowed to serve food and beverage for events, meetings, and functions normal to the River Center and operation of a not-for-profit "nature education center". The kitchen space is to be utilized as typical kitchen space for both office staff and occasional event food service. The Conservancy is not permitted to have a full service restaurant. The Conservancy may have vending machines. A full service restaurant shall require an amendment to this approval. An area devoted to retail sale of books, videos, and other items typically sold by a not-for-profit "nature education center" is permitted with profits to the ApplicantConservancy without additional Town approval so long as the conditions outlined herein are met. The retail and restaurantfood service space shall not exceed the following limitation: a total of 335300 square feet for the Phase 1; no additional square feet for Phase 2, and a total of 535 square feet for the building upon the completion of Phase 3. A larger space for any phase shall require review and approval by the TRC, which shall have the discretion to require an amendment to the Town's approval. The TRC shall have the discretion to determine whether or not a food service operation is a full service restaurant. The retail and restaurantfood service space shall

not have an advertising sign visible from outside of the building. The reason for these limitations is to ensure that the River Center supports the downtown area and other Basalt businesses and that any primary commercial activities are subject to the same requirements as private developments (such as affordable housing and parking mitigation).

12. The conceptual architectural design for the development is approved subject to the following directions from the Town Council: as included in the Application. The detailed architectural plan shall be reviewed and approved by the P&Z before building permit for Phase I and shall be reviewed and approved by the Town Council before building permit for Phase II following a recommendation by the P&Z.
- a. ~~Improve the public access to the Pond and to Old Pond Park; pull the west wing and the south side of the building back from where they are shown on the 8/19/09 plans.~~
 - b. ~~Improve the fenestration on the western wing of the building and soften the architectural effect on the Street;~~
 - c. ~~Improve visual access to the pond from Two Rivers Road.~~

~~The Town is concerned that the conceptual design did not meet the public need and appeared to be more of a barrier than an entrance to the river and specifically, that the Town expects to see greater fenestration and articulation on the northwest facade of the River Center and providing a building that is more inviting to the public. Also, the Applicant must understand that this structure is a quasi-public building and should not cut off the public from the river. The fence shall not constrain access to the site from a physical or visual perspective.~~

~~The Applicant shall provide the Revised Plans for the entire project for the Town's review and approval as outlined in Condition 2. The Revised Plans shall include elevations, sections, computer models, physical models and 3D renderings of the proposed building (as deemed necessary by the TRC) for the Town's review.~~

~~At its sole discretion, the Applicant may submit Revised Plans for approval by the Town Council (with a recommendation from the TRC and P&Z) that differ from the conceptual plans submitted by the Applicant for this review, if the plans would result in a smaller, more inviting, or more efficient River Center Building.~~

~~Before building permit for each phase of the development, the Applicant shall~~

~~obtain approval by the Town of the detailed architectural plan.~~

13. The Applicant Conservancy shall not place HVAC and mechanical equipment on the roof except for the following:
 - A. Flues and vents required by the Building Code to be vented through the roof, but the height and mass shall be the minimum required to meet the Building Code requirements in order to respect the integrity of the roof design;
 - B. ~~Phase 3 may contain~~ Solar panels and associated mechanical equipment that extend up to a maximum of 64 feet above the building height ~~approved for that particular phase.~~
14. ~~Prior to building permit submission for each of the respective phases, the Applicant shall submit a~~ The Final Site Plan for each phase of the development consistent with the Town's approval. ~~The Site Plan~~ River Center shall also include a detailed utility plan to be reviewed and approved by the Town showing the location and design of utility installations including utility boxes, pedestals, transformers, mailboxes, and trash dumpsters. These facilities shall be installed to meet the aesthetic goals of the Town.
15. Prior to building permit submission for each of the respective phases, the Applicant Conservancy shall provide a detailed exterior lighting landscape plan to be reviewed and approved by the Town. for its Lease area and for the areas under the responsibility of the Conservancy to make improvements (See Exhibit C) plus any other area where the Conservancy proposes to place landscape improvements.
16. ~~Prior to building permit submission for each of the respective phases, the Applicant shall provide a detailed landscape plan to be reviewed and approved by the Town. The plan shall specify the locations and types of plant species to be included on-site and on adjacent Town property as permitted in accordance with the Landscape and Improvements Easement Agreement. The landscape plan shall also detail landscape design features, materials, grading, and irrigation throughout the River Center parcel and within the Town's right-of-way and in accordance with the Landscape Agreement. The landscape plan shall show the location of vegetation for the mitigation of removed willows during that phase of construction. Willows shall be replaces at a ratio of 2 to 1. The Applicant shall work with the Town to implement said landscape improvements in accordance with the Landscape Agreement which may also involve approval by the Town Council. The landscape plan~~

shall appropriately address the aerator control boxes located at the edge of the pond to meet the needs of the Town and the Applicant.

- ~~17.16.~~ The ApplicantThe Conservancy shall be responsible for the installation of all approved streetscape improvements along north façade of the River Center adjacent to Two Rivers Roadbuilding adjacent to Two Rivers Road as for the area shown on Exhibit C. The Final Plan shall be amended to revise the curb approach on the perpendicular parking spaces to allow for better and more efficient snow removal.

The Town shall be responsible for the installation of the required park and street improvements for the area shown as the Town's responsibility on Exhibit C. The Final Plan shall be amended to increase the depth of perpendicular parking spaces and additional area for the drain pan per the discussion of Sopris Engineering and the Town Planner.

- ~~18.17.~~ Prior to building permit submission, the ApplicantConservancy shall submit a detailed signage plan for the River Center for review and approval by the Town. The plan shall be reviewed for compliance with the signage regulations for the C-1 Zone District established in Town Code Chapter 16, Article VII, Signs and any sign lighting shall be fully shielded and down directed. Staff shall be responsible for ensuring that the signage for Old Pond Park and the wetland demonstration garden satisfies the Town's park sign plan. Nothing restricts Staff from having the details of the park signage reviewed by the Parks, Open Space and Trails Committee.

- ~~19.~~ The trail plan for the River Center is not approved at this time. As part of the construction for Phase 1, the Applicant shall construct a temporary trail with natural looking surfaces along the west side of the River Center that will connect with the pedestrian/emergency access and trail on the east side of the property. The detailed landscape plan for Phase I shall specify the location and width of the trail(s) for each of the phases with proper earth retention where necessary. The final designs of the trail and landscape plan shall be included in the detailed landscape plans for each phase. The Town's objectives with respect to the trail design are to: 1) provide a natural pedestrian experience next to the pond, 2) allow sufficient space for plantings, 3) provide ADA access where feasible, 4) reduce or eliminate "drop-offs" or sudden grade changes from the trail platform; and 5) provide for the best possible pedestrian crossing(s) from the River Center and adjacent activities to Old Pond Park.

- ~~20. Prior to building permit submission, the Applicant shall provide a detailed plan for the design of the "pedestrian/emergency access and trail" on the shared access easement that incorporates the design and characteristics of a "plaza" to be reviewed and approved by the Town. The Applicant shall meet with the TRC and Fire Department before submittal of the site plan for Phase 1 to design the "pedestrian/emergency access and trail" and to determine where the minimum 20 ft. hard service required by the Fire Department should terminate and transition to a more rural trail as it approaches the river. The Applicant shall also meet with the Fire Department prior to submitting the site plan for Phase 1 to ensure that the reconfiguration of the emergency access is in compliance with the Fire Code and the required setbacks. The Applicant shall not be permitted to utilize the "pedestrian/emergency access and trail" for vehicle parking but service vehicles may use the trail as permitted by the Reciprocal Access Easement Agreement and the Fire Department.~~
18. The Applicant~~The trail plan for the River Center and Old Pond Park, the pier and other associated improvements are approved as shown on the site plan from DHM dated May 20, 2016.~~
- 21-19. The Conservancy shall provide the lift (elevator) as included in the Revised Plans. The requirement to provide ADA accessible office space on the first floor is no longer required.
- 22-20. The parking requirement for the 8,055 square feet and the approved phasing plan~~River Center shall be seventeen (17)~~13 spaces upon completion of Phase 1 ~~and twenty four (24) parking spaces upon completion of Phase 3~~ based on the approval of a minor parking reduction pursuant to the provisions of Section 16-28 (1)(d) of the Town Zoning Code as satisfied by this approval and the conditions described herein. No additional parking will be required by the Council for Phase II if the Conservancy demonstrates to its satisfaction after recommendation by the P&Z in the Final Plan review that the TDM measures required below are successful in managing parking for employees and guests of the River Center leaving sufficient parking for the public to access Old Pond Park. Based on the reports provided by the Conservancy and any study by the Town, the TRC may ask the Conservancy to upgrade its TDM measures if parking becomes a problem. If additional flexibility square footage is included in detailed plans approved by the P&Z, the additional parking requirements ~~included below~~shown in the Staff memo dated July 5, 2016 shall apply to the additional floor area. ~~The Applicant~~P&Z may determine that the additional flexibility floor area does not require parking or fees in lieu based on the particular reason for the flexibility square footage and the TDM measures in place. The Conservancy shall be responsible for

the construction of all the parking associated with the River Center as shown on Exhibit C.

~~The completion of Phase 1 would require the Applicant to construct seven (7) temporary spaces and pedestrian improvements on the south side of Two Rivers Road. The Applicant shall be given a credit of ten (10) spaces for the construction of pedestrian improvements from the main entrance of the River Center to the eastern boundary of the Levinson property pursuant to provisions contained in Section 16-28 of the Town Code for the P Public Zone District. The pedestrian improvement shall be completed before the occupancy of Phase 1. Said pedestrian improvements shall consist of no less than a ten (10) foot wide, hard-surface sidewalk with adequate lighting (street lamp, bollard, or both) and a crosswalk at Two Rivers Road to connect with the pedestrian amenities at the Recycling Center. A detailed plan of these pedestrian improvements shall be reviewed in association with the detailed landscape plan and approved by the Town. In the event that the Levinson property is developed prior to the River Center and the above pedestrian improvements are constructed by another entity, the Roaring Fork Conservancy shall provide funding equal to the construction cost of the said pedestrian improvements to the Town (as approved by the Town Engineer) for pedestrian or parking improvements elsewhere.~~

~~The parking spaces to be constructed in Phase 1 shall be built in accordance with the Greenway Master Plan allowing for minor variations approved by the TRC to accommodate a minimum of seven (7) parking spaces in front of the River Center. At the discretion of the Applicant, these seven spaces may be temporary in nature until Phase 2 is complete (gravel is not an acceptable material). The Applicant The Final Plan application will include Travel Demand Management (TDM) measures and monitoring for approval by the Town similar to what the Town required of RMI in Ordinance No. 26, Series of 2015 for approval by the Town in the Final Plan Application.~~

23-21. The Conservancy is permitted to propose alternate "green" paving surfaces and construction details to be reviewed and approved by the Town. ~~Nothing prevents the Applicant from constructing the final parking spaces with curb and gutter pursuant the Two Rivers Greenway Master Plan during Phase 1 if they desire to do so.~~

~~The Applicant shall "finish" (with asphalt, curb, and gutter) the seven (7) temporary spaces in front of the River Center upon the completion of Phase 2. The Applicant may suggest alternate "green" paving surfaces to be considered by the Town. Phase 2 shall also incorporate a bus loading and~~

unloading zone off Two Rivers Road for visiting school groups. The completion of Phase 3 shall entail the completion of the remaining seven (7) spaces on the north side of Two Rivers Road. All parking shall be constructed in accordance with the Greenway Master Plan.

23. In order to utilize the flexibility square footage mentioned above, the Applicant shall provide 1 parking space for every 400 square feet that the building exceeds the approved square footage for that a particular phase.

<p>For Phase 1 or Phase 2 development based on the assumption that one parking space is required</p>	<p>The Applicant shall pay fees in lieu of parking using the Town's then current fee in lieu schedule or obtain approval from the Town Council for credits for additional pedestrian improvements to connect the River Center to downtown and the bus stop.</p>
<p>For Phase 3 development</p>	<p>The Applicant shall construct the additional parking required for the flexibility square footage on the north side of Two Rivers Road in front of the River Center in accordance with the Greenway Master Plan.</p> <p>(Note that the Greenway Master Plan shows 9 parking spaces on the north side of Two Rivers Road in front of the River Center property and the Applicant is required to construct 7 parking spaces for Phase III without additional flex square footage.</p> <p>The parking shall be built in accordance with the Greenway Master Plan allowing for minor modifications approved by the TRC.</p>

24. Prior to building permit submission for Phase 1, the Shared Reciprocal Access Agreement shall be amended by the Applicant and the Town to allow for a twenty (20) foot wide all weather surface as required by the Fire District for emergency access (instead of the maximum 10 foot wide surface

~~permitted by the Access Agreement). The Access Agreement shall be amended prior to Phase 1 to incorporate any other necessary changes to effectuate this approval.~~

~~24.22. The Conceptual Engineering Plans are approved subject to the conditions contained herein. Prior to building permit submission for each phase of the project, a final, detailed engineering plan shall be reviewed and approved by the Town. The Applicant shall, to the satisfaction of the Town Engineer, address the referral comments made by the Basalt Sanitation District and the Basalt and Rural Fire District.~~

~~25. As part of the construction for Phase 1, the Applicant shall be responsible for extending to the site, the existing water line situated along Two Rivers Road. It is anticipated that any future development on the Levinson property will be responsible for looping the water line within the shared easement between the River Center and the Levinson property and through the Levinson property where it will connect with an existing municipal water line associated with the Pan & Fork Mobile Home Park. The Applicant will not be responsible for the cost of this second line. However, in an effort to minimize the amount of disturbance that may occur to the "pedestrian/emergency access and trail" required elsewhere in these conditions, the Applicant shall construct the portion of the looped system that will extend underneath the access easement along the eastern edge of the River Center parcel if paid for by the Town of Basalt. The Town intends to pay for the portion of the line within the access easement subject to the Town Council's appropriation of the costs at the time the Applicant builds Phase 1 of the project. In the case that the Levinson property is developed before the River Center, the developer of the Levinson property shall be required to construct a looped water system that would extend service to the River Center property. In this situation, the Applicant will reimburse the developer of the Levinson property for the portion of the looped system extended along Two Rivers Road to the River Center. The River Center project is subject to certain surcharges for connecting to the existing water distribution system as required pursuant to the Municipal Code.~~

~~26. As part of construction for Phase 1, the Applicant shall be responsible for extension of sewer service to the site from the existing sewer line in Old Pond Park. The new line would traverse across the southern portion of the Levinson property and meet the Sanitation District's rules and regulations. Extension of services may be in the form of a "temporary" sewer service line approved by the Basalt Sanitation District on August 12, 2009. The River Center project is subject to certain surcharges of the Basalt Sanitation District for connecting to the existing sewer distribution system. A Line Extension~~

~~Agreement shall be obtained from the Sanitation District if necessary. An easement for the establishment of the sewer line must be granted and recorded by the Town at a time determined by the TRC.~~

- ~~23. As part of construction for Phase 1, the overhead utility lines that will provide electricity to the property shall be placed underneath Two Rivers Road, extended along the shared access easement between the Levinson property and the River Center, and be distributed to each of the respective properties during construction of Phase 1. The cost for this endeavor shall be split equally between the Town and the Applicant pursuant to a reimbursement agreement to be established between to two entities and approved by the Town Council. The Applicant~~As part of the construction for Phase 1, the Conservancy shall be responsible for extending the existing water line to the site.
- ~~24. The River Center project shall satisfy the referral comments made by Denise Diers in her email dated June 29, 2016, the comments from Wyatt E. Popp, PE Osson Associates to Susan Philp, Planning Director, dated June 29, 2016 and any requirements contained in the line extension agreement the Town has with the District which would pertain to the River Center.~~
- ~~25. The Conservancy shall be responsible for extending or upgrading other utility services, including gas, telephone, and cable television as necessary to provide service for the entire development as part of Phase 1 construction.~~River Center.
- ~~26. Prior to issuance of a building permit for each phase of the project, the Applicant~~Conservancy shall provide cost estimates from a licensed engineer to the Town Engineer for all of the necessary improvements required by the Conservancy for that phase and shall provide the security for all public and essential improvements in a form acceptable to the Town Attorney. The cost estimates are subject to approval by the Town Engineer. The ApplicantConservancy shall execute a Development Improvements Agreement approved by the Town Attorney before building permit for each phase. The secured improvements shall include at a minimum those improvements listed in the Phasing Plan found elsewhere in this ordinance. The Development Improvements Agreement may include an option for the Applicant to update the cost estimate and security to reflect current conditions with approval from the Town Engineer shown as the Conservancy's responsibility on Exhibit C.

27. At the time of this approval, the funding for the Wetland Demonstration Garden had not been secured. Until funding is secured the interim grass planting is approved as shown on the Preliminary Planting Plans and Plant List and Notes dated May 20, 2016 prepared by DHM.

27-28. Prior to building permit submission for Phase 1, the Applicant Conservancy shall submit a geotechnical report and final drainage study for the entire development River Center to be reviewed and approved by the Town Engineer.

28-29. Prior to building permit submission for each phase of the project River Center, the Applicant Conservancy shall be required to provide a final Construction Management Plan describing at a minimum, the proposed construction staging, parking and phasing to be reviewed and approved by the Town.

29-30. Based on representations in the application, the project shall be constructed without impacts to the 100-year floodplain, except for the cantilevered deck which may extend over the floodplain. A floodplain development permit application shall be submitted prior to construction any deck that extends into the floodplain (Phase 3) providing detailed demonstration that it will not impact the floodplain.

33. All building shall be sprinkled pursuant to Fire District requirements meeting NFPA-13 standards.

34. To the satisfaction of the Fire Chief, the access entry shall be marked as a fire lane with signs stating "fire lane — no parking".

35. Construction of the infrastructure components associated with each of the respective phases shall be completed in accordance with the following table:

Phase 1	<u>Pedestrian trail improvements (associated with a credit of 10 parking spaces) from the River Center entryway to the eastern border of the Levinson property</u>
	<u>Plaza and streetscape improvements in front of the building including a minimum 10 foot wide path connecting to the trail along the Levinson property</u>
	<u>Nature trail on west side of building</u>
	<u>All-weather pedestrian/emergency access plaza on the east side of the building</u>
	<u>7 temporary parking spaces along Two Rivers Road in front of the River</u>

36.	Center with a walkway leading to the front entrance of the building.
	Underground existing electrical utilities
	Extension and installation of utilities
	Willow mitigation as necessary (2 to 1 ratio)
Phase 2	Upgrade 7 temporary parking spaces in front of the River Center with hard surface, curb and gutter
	Complete landscape and streetscape improvements on the south side of Two Rivers Road in accordance with the Greenway Master Plan including the bus pullout (does not include improvements to roadway lanes or chicane)
	Wetland improvements and repair the nature trail on the south and west sides of the building if necessary
	Willow mitigation as necessary (2 to 1 ratio)
Phase 3	7 final parking spaces on the north side of Two Rivers Road in accordance with the Greenway Master Plan
	Complete the streetscape improvements on north side of Two Rivers Road (does not include improvements to the roadway lanes)
	Crosswalk on Two Rivers Road if the Greenway Master Plan is not complete
	Final landscaping and willow mitigation
Use of flex square footage	Additional parking fees and/or parking improvements

31. The River Center project shall satisfy the referral comments made by Bill Harding, Fire Marshall in his letter dated June 20, 2016 to Susan Philp, Planning Director.

32. The responsibilities and costs associated with the design and construction of the River Center, Two Rivers Road and Old Pond Park Improvements are shown on the Site Responsibilities Diagram shown as Exhibit C.

30-33. If the Town constructs any of the required improvements under the Conservancy's obligation, the Applicant shall reimburse the Town at the with consideration given for any of the additional \$100,000 infrastructure improvements that remain at that time the improvement would have been required per the specified phasing planas initially agreed to in the Pre-development Agreement between the Town and the Roaring Fork Conservancy dated August 29, 2014. However, nothing restricts the Town from entering into a program with the Applicant to creatively fund the

improvements as provided in Condition No. ~~37~~34 [slight change to language to correct typo.]

~~31-34.~~ Due to the importance of the River Center to the Town of Basalt, both the Town and the ~~Applicant should~~Conservancy agree to work together to seek grants and other creative funding means for constructing the River Center and the Two Rivers Greenway Master Plan improvements without overburdening the Town's fiscal capacity.

MISCELLANEOUS AND LEGAL

~~32-35.~~ The approvals and conditions contained herein shall be binding on and inure to the benefit of the heirs, successors and assigns of the Applicant and the owners of the Property.

~~33-36.~~ This Ordinance, after fully executed, shall be recorded in the office of the County Clerk and Recorder.

~~34-37.~~ If any part, section, subsection, sentence, clause or phrase of this Ordinance is for any reason held to be invalid, such decision shall not affect the validity of the remaining portions of this Ordinance and the Town Council hereby declares it would have passed this Ordinance and each part, section, subsection, sentence, clause or phrase thereof regardless of the fact that any one or more parts, sections, subsections, sentences, clauses or phrases be declared invalid.

38. The vested rights for Phase I of the River Center are granted as approved herein until April 15, 2019, which corresponds to the Performance Deadline included in the Town's Lease agreement with the Conservancy recorded in the Eagle County records as Reception No. 201605270. If a building permit for the River Center is not issued within the April 15, 2019 vested rights period or may be extended, the approvals granted for this amendment shall expire. The approvals shall also expire if for some reason the Conservancy no longer has a valid lease with the Town. The vested rights for Phase II will be granted at the time of Final Plan approval for Phase I.

40. The P&Z recommends that the area of the Lease Agreement be expanded as shown on **Exhibit B**.

MEMORANDUM

To: Chairman Johns and Basalt Planning and Zoning Commission

Thru: Susan Philp, AICP Planning Director

From: James Lindt, AICP Assistant Planning Director

Date: July 5, 2016

RE: Public Hearing- Stott's Mill PUD Reinstatement for Single-Family Section and Sketch Site Plan Review and Associated Reviews for Multi-Family Residential Section Introductory Meeting

I. Purpose:

MSP1 LLC. ("Applicant") is requesting approval for Reinstatement of the 2009 Stott's Mill PUD approvals for the majority of the single-family section of the proposed development and Sketch Site Plan Review for the multi-family section of the proposed development to construct 156 dwelling units on the Stott's Mill Property. Staff suggests that this initial meeting be an introductory meeting to the proposal and discussion items. Staff recommends that the P&Z hear a presentation from Staff and the Applicant, ask questions, take public comments, and then provide initial discussion. Ultimately, Staff recommends that the P&Z let Staff know if there is additional information that the P&Z needs to complete the review of the Application and continue it to July 19th.

II. Background:

The 18-acre property subject to the Application is currently vacant with the exception of a couple of agricultural buildings and is located on the east side of Southside Drive adjacent to the Rio Grande Trail. The property is currently located in unincorporated Pitkin County. The Applicant has applied to annex the property into the Town and to reinstate the 2009 PUD approvals for the majority of the single-family family residential portion of the development and a sketch site plan review through the proposed R-4 MD Zone District for the multi-family portion of the development adjacent to Southside Drive. The property is located in the Town's Urban Growth Boundary (UGB) and is designated as Medium Density Residential (MDR) and Public Open Space (OS) on the Future Land Use Map (FLUM) that is included in the 2007 Basalt Master Plan.

The Applicant received annexation and PUD approvals in 2009 for 110 dwelling units, a daycare core and shell, a south and north park, and associated infrastructure pursuant to Ordinance No. 18, Series of 2009. The new proposal includes 156 dwelling units, fifty-six (56) of which are proposed as single-family dwellings and ninety (90) of which are proposed as multi-family dwelling units. Additionally, the Applicant has proposed

two (2) parks in the same configuration as the parks that were included in the 2009 approvals. Site plan and elevation drawings are attached in the application.

III. Review Process:

The Applicant has received approval for annexation eligibility pursuant to Resolution No. 14, Series of 2016. The Town's policy is not to annex a property until a development proposal is approved. The P&Z makes a recommendation to the Town Council on the proposed PUD reinstatement on the single-family portion of the development, and on the R-4 MD Sketch Site Plan Review.

IV. Discussion Items:

1. Consistency with Master Plan

In reviewing the proposed development plan, Staff believes that the proposed mix of uses is generally consistent with the 2007 Basalt Master Plan. The proposed development to consist of a mix of single-family and multi-family residential dwelling units is consistent with the Medium Density Residential Designation in the Master Plan. Additional discussion on the proposal's consistency with the density guides in the Master Plan are discussed below.

2. Proposed Density

The medium density designation for the property in the 2007 Basalt Master Plan prescribes a potential density range of 6 dwelling units/acre to 11.9 dwelling units/acre. The proposed development consists of 156 units, which is above the Master Plan's prescribed density range if you only include the area of the property in the Master Plan that is designated as Medium Density Residential (MDR). There is language in the Master Plan that expresses that the use designations on the Future Land Use Map are recommendations and that site-specific refinements may be acceptable if they are determined to be consistent with the goals and objectives of the Master Plan. In evaluating the 2009 Application, the density was allowed to go from 105 dwelling units in the sketch plan approvals to 110 dwelling units because the Applicant added a daycare core and shell as an additional amenity. Staff believes that there needs to be discussion at the P&Z level about whether the density increase proposed in the multi-family section of the development beyond the 2009 approvals will put too much stress on the southside infrastructure.

3. Affordable Housing Mix

The Applicant has proposed to satisfy the affordable housing requirements for the development by including 25% of the total residential floor area and 20% of the units as deed-restricted, category-level affordable housing as required by the Town Code. Additionally, Staff anticipates requiring that the Applicant provide a 1% Real Estate Transfer Assessment (RETA) and a 2% RETA on transactions of over \$1 Million pursuant to the Town's Annexation Policy.

4. *Childcare/Daycare*

In the 2009 Stott's Mill approvals, the Applicant was required to construct a 3,000 square foot core and shell daycare space to be administered by the Town. As part of the current Application, the Applicant has proposed not to include any mitigation for the impacts that the development would have on the Mid-Valley daycare situation. Staff believes that a project of this nature will have impacts on the demand for daycare and should be required to contribute to solutions for mitigating the current daycare shortage. Staff has identified several options for consideration as follows:

- a) Identify a location in the Project for the Applicant to construct a 3,000 sf core and shell space similar to what was included in the 2009 approvals; or,
- b) Require the Applicant to dedicate land to the Town for daycare purposes as was required of the Continuous Care and Retirement Community (CCRC) that was approved for the site after the 2009 approvals were vacated; or,
- c) Require the Applicant to pay a fee for use by the Town in enacting daycare solutions as was required of Willits Town Center in the recent PUD amendment approvals; or,
- d) Reinstate the original requirement.

Staff has identified this item for additional discussion and Staff will be seeking input from the Childcare Coalition.

5. *Annexation Policies*

Town Code Chapter 15 and the Town's Master Plan include that the Town can receive additional community benefits through annexation. The Town has annexation policies requiring that development subject to annexation provide a 1% RETA on property transfers of less than \$1 Million and a 2% RETA on property transfers of \$1 Million or greater. Staff anticipates requiring compliance with this annexation policy. Additionally, the Town has an annexation policy of requiring double the parkland requirements for annexations. Staff includes analysis on the consistency of the Applicant's proposal related to the parkland annexation policy later in this memo.

6. *Proposed Zoning*

The multi-family development adjacent to Southside Drive is proposed to be zoned R-4 MD, the narrow lot single-family dwelling units are proposed to be R-3 TN PUD upon annexation. The dimensional requirements for the multi-family development are proposed to meet the dimensional requirements of the R-4 MD Zone District with the exception that the Applicant is requesting Special Review Approval for a .69:1 FAR, which exceeds the .5:1 allowable FAR in the R-4 MD Zone District.

The ***multi-family residential*** dimensional requirements are proposed as follows:

Dimensional Requirement	Proposed	R-4 MD Requirement
Min. Lot Area	157,388 sf	12,000 sf
Max Building Height	35 Ft.	35 Ft.
Ridge Height	33 Ft.	33 Ft.
# of Stories	3	3
Lot Width	Greater than 70 Feet	70 Feet
Front Yard Setback	10-25 Feet	10 Feet
Rear Yard Setback	10 Feet	10 Feet
Side Yard Setback	5 Feet	5 Feet
FAR	.69:1	.5:1 with up to .8:1 Allowed by Special Review
Max Lot Coverage	NA	NA
Min Landscape	10%	10%

Staff is concerned with the overall floor area of the multi-family buildings as shown in the sketches provided in the application and is concerned that the layout does not provide a desired streetscape along Southside Drive. Staff believes that these issues are partly a function of the additional density being proposed.

On the ***narrow single-family lots***, the Applicant has proposed the following dimensional requirements:

Dimensional Requirement	Proposed R-3 TN PUD	R-3 TN Requirement
Min. Lot Area	3,360 SF	6,000 SF
Max Building Height	24 Ft.	24 Ft.
Ridge Height	28 Ft.	28 Ft.
# of Stories	2	2
Lot Width	28	50
Front Yard Setback	10 Ft. Porch 16 Ft. Living Area	10 Ft. Porch 16 Ft. Living Area
Rear Yard Setback	7 Ft.	10 Ft.
Side Yard Setback	5 Ft.	7.5 Ft.
FAR	<ul style="list-style-type: none"> • 1,328 Square Feet for 11 of 28 Ft. wide lots • 2,000 Square Feet for 31 of 28 Ft. wide lots • 2,376 Square Feet for 42 Ft. wide lots 	.35:1 up to .5:1 through Special Review
Max Lot Coverage	Proposed FAR in Lieu of Lot Coverage Maximum	30%

Min Landscape	30%	20%
Parking	2 Spaces per dwelling	Varies depending on # of bedrooms

In evaluating the proposed dimensional requirements for the narrow single-family lots, Staff supports the variations requested to the minimum lot size, minimum lot width, lot coverage, and setback requirements because the lots are designed to be very modest in size to permit a significant density of moderately priced residences as was granted in the 2009 approvals. Staff also supports the floor area in this circumstance in that residences on the 28-foot wide lots are proposed to support residences of 1,328 square feet and the 42-foot wide lots are proposed to accommodate residences of about 2,400 square feet. Considerable time was spent in 2008 and 2009 evaluating the small lot concept.

7. Architectural Guidelines

Staff and the Applicant had developed design guidelines for the single-family portion of Stott's Mill that were included in the 2009 approvals. As part of the 2009 approvals, Staff was concerned that there is really no assurance that there will be variety in the design of the units. To avoid a cookie-cutter scenario, Staff required the Applicant to come up with a plan to assure the Town that there will be variety in the designs developed within the subdivision. As a result of this concern, the Applicant has proposed to retain four to five different local architecture firms to design the single-family residential units that will be built by the developer within the project. The Applicant believes that the different styles of the varied architects will insure variety in design, while the design standards will provide a framework to maintain some design continuity in the development. Staff anticipates maintaining the condition from 2009 about retaining four to five local architects to design the single-family residential units.

8. Parks and Open Space

The Applicant has proposed 4.5 acres of open space within the development, which is mainly contained within two (2) parks, one at the southern extent of the development and one at the northern extent of the development. Pursuant to the Parkland requirements in the Town Code and the annexation policy that annexations provide double the required parkland, the total parkland dedication required would be 6.2 acres.

The park on the northern extent of the development is proposed to contain a man-made pond used for raw water irrigation storage. The pond will be drawn down at certain times of the year, but will be constructed with a shallow bench area around the outer extents of the pond so that it reduces hazards when the water is drawn down for irrigation.

The programming for the park at the southern extent of the development is proposed to be a passive park with some bathroom and storage facilities for the Town. In the 2009 approvals, the park included two (2) basketball courts and two (2) tennis courts. Staff feels that a more active park consistent with the POST Committee's recommendation as

outlined below is necessary for a family-oriented development of the scale being proposed.

A group represented by Diana Elliot would like to put a four-court tennis center in South Park, but the Applicant has indicated that they are not interested in incorporating such a facility (see attached letter). The POST Committee also weighed in on the Application and have recommended a more active park and programming that would include a 3-4 court tennis center and a children's play area in addition to the bathrooms and storage already proposed. The POST Committee thought that there was enough passive park in the southside already and that there should be additional park amenities since the development is short of the amount of parkland required to be dedicated pursuant to the Town's annexation policy and that it will attract young families. It should be noted that Pitkin County no longer needs a nordic storage area as was required in 2009 as they now have another location.

9. School Land Dedication

The Applicant has proposed to construct two (2) deed-restricted residential units that would be rented to the RE- 1 School District for no rent charge as was included in the 2009 approvals. The Applicant is in discussions with the School District on this topic.

10. Traffic

The Town's Consulting Engineer, SGM, has been preparing a traffic report for southside. Initial information from SGM identifies that the Stott's Mill proposal will likely require a CDOT access permit as it will increase traffic beyond the thresholds required by CDOT. SGM's initial information also identifies that there is a need for improvements at the intersection of Basalt Avenue and Highway 82 to mitigate the impacts of the increased traffic that would be expected by buildout of the proposed project. A next step in SGM's analysis is to identify options for potential traffic improvements that could be implemented to mitigate the additional traffic. The traffic mitigation options to be identified by SGM will be brought back at future meeting for discussion. The Applicant and others proposing to develop in Southside would be expected to pay the cost of implementing necessary traffic mitigation improvements on a fair share basis based on trip generation.

11. Round-a-bout and Traffic Calming

A round-a-bout on Southside Drive was approved in 2009 as part of the original Stott's Mill Development Application and the Sketch Plan development application for the Basalt Design District (BDD) as a mechanism for turning cars around and was also seen as a traffic-calming mechanism. The BDD application is no longer active, but Staff does believe that there is still a need for traffic-calming along Southside Drive. Staff believes that it is important to know the other traffic improvements that will be needed at the Basalt Avenue/Highway 82 intersection before it is determined whether a round-a-bout should still be required on Southside Drive. As Staff identified above, SGM is identifying options for potential traffic improvements that could be implemented to mitigate the additional traffic.

12. Southside Drive Cross-Section

In acquiring the funding for the Basalt Avenue pedestrian underpass, Pitkin County elevated the importance of improving the trail from the Rio Grande Trail to the Highway 82/Basalt Avenue underpass. Pitkin County Open Space and Trails is working with the Town Parks, Open Space and Trails (POST) Committee to determine the desired long-term road cross-section for South Side Drive and associated improvements. Additionally, POST has also expressed the need to improve the trail. The Town POST Committee reviewed options for the Southside Drive Cross-Section and recommended that Pitkin County's consultant draw a cross-section consisting of a wider trail on the west side with bike indicator in the travel lanes traveling north; and a designated bike lane with no parking on the west side of Southside Drive. Once Pitkin County's consultant amends the cross-section, Staff will provide it to the P&Z. Staff anticipates that the Applicant will be responsible for making some improvements to enact a portion of the planned cross-section adjacent to Southside Drive.

13. Green Building

The dwelling units will be required to meet the Town's sustainable building regulations. Also, in 2009 the Applicant was required to meet a minimum HERs rating score of 90 points. Staff also anticipates maintaining the condition of approval from 2009 requiring each single-family residence to meet a minimum HERs rating score of 90 points.

14. Ditch Plan

The Applicant had worked out details related to the maintenance of ditch with the Ditch Company in 2009. There are representations in the application that the Ditch Company will continue to maintain the ditch. Additionally, there is a fence detail in the application for a split-rail fence to be built along the ditch to discourage recreation in the open ditch. An easement for the ditch is also proposed to be dedicated on the plat. Staff anticipates including a condition of approval in the initial staff recommendation requiring that the Applicant continue to work with the ditch company to define the terms of maintenance for the ditch and provide a document memorializing said terms prior to the Town granting final approval for the development.

15. Water Rights Dedication

The Town had worked out water rights dedication documents in 2009 and lease back provisions. Staff recommends an updating the 2009 dedication and lease back provisions. Typically, the Town Council deals with Water Rights dedication.

16. Connection to Allison Lane

The Applicant proposes a vehicular connection to Allison Lane. The Fire District strongly supported the connection in the 2009 review and the connection was previously required. Staff has heard some concerns from Southside residents about the potential for additional traffic on Allison Lane. Staff recommends that the Applicant consider some additional traffic calming potential for the connection to limit its desirability as a throughway from the High School to Highway 82 in non-emergency situations.

17. Vested Rights and Phasing

The Applicant has proposed vested property rights of five (5) years for installation of the infrastructure and ten (10) years after the installation of infrastructure is installed for buildout of the project. North Park is proposed to be installed in the initial five (5) year period of infrastructure installation and South Park is proposed to be completed prior to half of the units in the development being constructed as was included in the 2009 approvals. Staff's understands that this is a project of significant scale, but Staff would prefer requiring that the infrastructure be installed in three (3) years (which is the Town's standard vested rights period as set forth in the Town Code) and that the build-out be limited to seven (7) years after installation of infrastructure. Staff has anticipates including draft conditions requiring infrastructure installation in three (3) years and buildout in seven (7) years after infrastructure installation.

V. Technical Issues:

Fire District Requirements:

The Basalt and Rural Fire Protection District (BRFPD) reviewed the proposed application and requested some site plan changes with regards to street widths. The Applicant has made the requested site plan changes.

RFTA Comments:

RFTA reviewed the Application and identified that RFTA is nearing capacity with existing equipment and personnel, so there is potential that the Applicant will need to contribute financially to mitigate the additional impacts that the development may impose on RFTA service. Additionally, RFTA and Pitkin County Open Space and Trails are looking at the potential for a rest station at the intersection of the Rio Grande Trail with Southside Drive. The Town POST Committee suggested that RFTA and Pitkin County go ahead and plan for installation of the rest station separate from Stott's Mill as they are hoping to begin installing some of the improvements later this fall and Stott's Mill will not have completed their land use review by that time.

VI. Recommendation:

Staff recommends that the P&Z hear a brief presentation from Staff and the Applicant, consider public comments, and provide initial discussion. Staff would recommend that the P&Z identify what additional information is required to make a final recommendation on the Application and continue the public hearing to July 19th. Staff will provide draft conditions and present them at the July 19th meeting.

Attachments:

Application
Addendum
Referral Comments

STOTT'S MILL

Basalt, Colorado

Phase 1 PUD Reinstatement & Extension
Phase 2 Sketch Plan

January 2016

Amended March 2016

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SECTION 1: APPLICATION & RELATED FORMS

**Land Use Application Form
Reimbursement Agreement
Legal Description
Project Team Directory**

To be filled out by the Town
 Filed: ___/___/___
 Application Fee: _____
 Review Fee: _____
 Total Payment Received: _____
 Current Reimbursement Agreement: _____

Town of Basalt

Development Application

The Following Must Be Provided Unless the Town Planner Gives Permission to Omit Answer:

TYPE OF APPLICATION FILED: ___ Annexation Rezoning ___ ESA
 Environmental ___ ESA Floodplain ___ Regular Rezoning ___ Special Review
 ___ Special Review for Off-Street Parking ___ Variance ___ Minor Subdivision
 ___ Minor Subdivision Condominimization

___ Major Subdivision or Replat Planned Unit Development
 ___ Sketch Plan ___ Sketch Plan
 ___ Preliminary Plat ___ Master Plan
 ___ Final Plat ___ Preliminary Development Plan
 ___ Final Development Plan
 ___ TRC Administrative Amendment

Other type of Application _____

Brief description of project: STOTT'S Mill : 1) PUD Reinstatement and Extension for Phase 1; 2) Sketch Plan and REzoning to R-4 Mixed Density for Phase 2.

Project description previously provided _____

Contact Information

Name of Applicant(s): MSP 1 LLC
 Phone number 970-923-3088
 Fax number _____
 E mail (if available) BHISTUN@BASALT.CO
 Address 20 SUNSET DR. #1
BASALT, CO 81623

Name of Owner(s): MSP 1 LLC
 Phone number 970-923-3088
 Fax number _____
 E mail (if available) SAME AS ABOVE
 Address SAME AS ABOVE

Name of Owner's Representative: BRISTON PETERSON
Phone number 970-923-3088
Fax number _____
E mail (if available) BRISTON@PHILUX.COM

Please attach owner's authorization.

Name of Engineer or Surveyor: YANCY NICHOL, SORRIS ENGINEERING
Phone number 970-704-0311
Fax number _____
E mail (if available) YNICHOL@SORRIS.ENG.COM

Name of Architect or Planner: MARK CHAIN
Phone number 970-309-3655
Fax number _____
E mail (if available) MCHAIN@SORRIS.NET

Information on Existing Conditions

Existing Zoning: AFR-10 (Pitkin County) Proposed Zoning: PUD & R-4 Mixed Density
Total square feet or acreage in application 18.014 Ac.

Information on Proposed Development

Total number of dwelling units: 156 Number of bedrooms: 324 +/-
Total floor area: 218,000 +/-
Proposed gross floor area by use (non-residential development only): NA

Area of open space to be provided: 4.5 Ac.

Legal Description

Legal Description of property (attach if necessary):

Attached

Reception No. of Deed: _____



SIGNATURE OF OWNER OR OWNER'S REPRESENTATIVE*

* If Owner's Representative files or will represent the application, attach an owner's authorization to represent

Attach appropriate information requested for type of application per the Basalt Town Code and any information requested by Planning Department.

Exhibit A
Legal Description

A parcel of land situated in Government Tract 59, Section 18, Township 8 South, Range 86 West of the Sixth Principal Meridian, County of Pitkin, State of Colorado lying Northerly of the Denver and Rio Grande Western Railroad northerly right-of-way, Southerly of the Home Supply Ditch Centerline, Westerly of the Easterly boundary of said Tract 59, and Easterly of the Easterly right-of-way boundary of Southside drive, also located in said Section, and being more particularly described as follows:

Commencing at Angle Point No. 7 of said Tract 59, a brass cap found in place; thence N 00°48'57" E 468.71 feet along said Tract 59 Easterly boundary to a point on said Denver and Rio Grande Western Railroad right-of-way, the point of beginning; thence leaving said boundary N.57°19'47"W., along the northerly boundary line of said Denver and Rio Grande Western Railroad right-of-way, a distance of 1,080.27 feet to a point on the Easterly right of way of South Side Drive; thence leaving said Railroad right-of-way N.00°56'41"E., along the easterly right-of-way of South Side Drive a distance of 617.68 feet to a point in the centerline of the Home Supply Ditch; thence leaving said Easterly right of way the following twenty-two (22) courses along the centerline of said ditch:

1. S.71°30'44"E., a distance of 56.82 feet
2. S.52°47'38"E., a distance of 45.26 feet
3. S.71°16'14"E., a distance of 45.18 feet
4. S.77°30'53"E., a distance of 51.82 feet
5. S.55°29'58"E., a distance of 42.09 feet
6. S.64°52'48"E., a distance of 35.10 feet
7. N.77°18'12"E., a distance of 44.99 feet
8. N.84°16'01"E., a distance of 47.61 feet
9. N.62°06'35"E., a distance of 31.56 feet
10. N.38°04'24"E., a distance of 78.37 feet
11. N.50°24'51"E., a distance of 50.37 feet
12. N.44°49'09"E., a distance of 50.79 feet
13. N.54°25'44"E., a distance of 33.75 feet
14. S.70°22'45"E., a distance of 50.06 feet
15. S.77°27'06"E., a distance of 60.23 feet
16. S.76°09'47"E., a distance of 44.40 feet
17. S.50°00'52"E., a distance of 30.88 feet
18. S.28°25'48"E., a distance of 51.32 feet
19. S.26°14'19"E., a distance of 98.77 feet
20. S.31°09'46"E., a distance of 51.73 feet
21. S.58°48'51"E., a distance of 51.97 feet
22. N.82°37'03"E., a distance of 82.93 feet to a point on the easterly boundary of said Tract 59;

thence leaving the centerline of said ditch S.00°48'57"W., along said tract boundary a distance of 1,015.25 feet to the point of beginning.

Said parcel of land containing 18.014 acres, more or less.

REIMBURSEMENT AGREEMENT

The undersigned (hereinafter "Applicant") has applied to the Town of Basalt for a development permit for PUD Reinstatement for Ph 1 & Sketch Plan (Ph 2) for the property known as Stott's Mill (the "Property") pursuant to the requirements of the Town Code. Applicant acknowledges and agrees that in consideration of the Town of Basalt processing and reviewing Applicant's request for a development permit, Applicant shall make the following payments to the Town and agrees as follows.

1. **NON-REFUNDABLE Application Fee.** Simultaneous with execution hereof, Applicant has paid a non-refundable Application Fee pursuant to Sections 16-292(a) and 17-61(a), Town Code, in the amount of \$ 1,500.
2. **Review Deposit.** Simultaneous with execution hereof, Applicant has paid a review deposit as required by Sections 16-292(c) and 17-61(c), Town Code, in the amount of \$ 4,000 against and to secure payment of a portion of the Town's review expense in accordance with Sections 16-292(b) and 17-61(b), Town Code. Any amount by which the Applicant's deposit exceeds the costs incurred by the Town with regard to development of the Property shall be refunded to Applicant within a reasonable time after final action has been taken with regard to development of the Property or upon withdrawal of the application by the Applicant.
3. **Review Expenses.** Pursuant to Sections 16-292(b) and 17-61(b), Town Code, the Applicant agrees to reimburse the Town for any and all Costs, Staff Fees, and Consultant Fees described herein incurred by the Town during and after the review process associated with the Property. Costs include but are not limited to publication fees, recording fees, and any other actual out-of-pocket costs incurred by the Town with regard to the Property ("Costs"). Inspection and review by town employees shall include reimbursement for time spent by the Town Administrator, Town Planning staff and the Town Public Works staff in compliance with the Town's rate schedule in affect at the time that the work was completed ("Staff Fees"). These rates currently range from \$85.00 to \$100 per hour. Applicant shall also reimburse the Town for all actual out-of-pocket costs incurred by the Town in connection with Applicant's development review application for consultants, including but not limited to, legal, engineering and planning review and advice from persons or entities not on town staff at the rate of the amount actually paid by the Town for such review and advice ("Consultant Fees"). Additionally, to partially defray administrative, handling and review costs incurred by the Town with regard to the Property, Applicant shall additionally pay to the Town an amount equal to 15% of all of the Costs and Consultant Fees.
4. **Payment.** Any and all bills for these costs are due and payable to the Town as follows: All accounts are due net in 15 days from the date of the bill. Interest on any overdue amounts shall be accessed and paid by Applicant at the rate of 2% per month (24% APR) from the date due until paid.
5. **Binding Obligation.** Applicant agrees and acknowledges that this Reimbursement Agreement shall be a continuing obligation which will run with the land and be binding on Applicant and any future owners of the land, and will include the obligation to reimburse the Town for any and all costs associated with the Property incurred by the Town for counseling and advice including, but not limited to monitoring compliance with any development approval including any Annexation Agreement, Subdivision Improvements Agreement or other agreements between the Town and the owner of the Property; enforcement of any development permits or approvals granted associated with the Property; participation in any litigation or depositions, whether the Town is a party or not associated with the Property or development approvals granted with regard to the Property; counseling and advice associated with any potential amendments to development approvals or compliance or lack of compliance with any

development approvals; and any other actual costs directly associated with the Property incurred by the Town.

6. **Breach.** In the event of a breach of any of the terms and conditions of this Reimbursement Agreement by Applicant, the Town may take any action necessary or appropriate and allowed by law or equity, including but not limited to: an immediate suspension of the review process by the Town including cancellation of any scheduled hearings; the refusal to issue any building permit or certificate of occupancy associated with the Property; the recording with the County Clerk and Recorder of an affidavit approved in writing by the Town Attorney and signed by the Town Manager stating that the terms and conditions of this Agreement have been breached; a demand or draw for payment on any performance guarantee for completion of public improvements by any owner of the Property; refusal to allow further development review for the Property or any other Property then owned by or owned in part by the owner of the Property; and any other remedy available in equity or at law including claims for damages or injunction.

7. **No Representation Concerning Development Permits.** Applicant acknowledges and agrees that the Town in no way guarantees, assures or otherwise represents to Applicant that the Development Application filed by Applicant will be granted and makes no representations concerning the timing of the review of the Application.

8. **Severability.** If any provision of this Agreement shall be determined to be void by any court of competent jurisdiction, such determination shall not effect any other provision hereof, all of which other provisions shall remain in full force and effect. It is the intention of the parties hereto that if any provision of this Agreement is capable of two constructions, one of which would render the provision void and the other of which would render the provision valid, then the provision shall have the meaning which renders it valid.

9. **Collection.** In the event the Town is forced to pursue collection of any amounts due and unpaid under this Agreement, it shall be entitled to collect attorneys' fees and all costs reasonably incurred in said collection efforts in addition to the amounts due and unpaid hereunder.

DATED: 8/27/15

TOWN OF BASALT:

APPLICANT:

By: _____

By: MSPA LLC

Position: _____

Mailing Address: 20 SUNSET DRIVE #1

BASALT, CO 81621

Telephone: 970-923-3088

STATE OF COLORADO)
) ss.
COUNTY OF EAGLE)

Subscribed, sworn to and acknowledged before me August 27, 2015, by Briston Peterson

Witness my hand and official seal.

My commission expires 6/11/18

Lucinda A. Westerlund
Notary Public

STATE OF Colorado)
COUNTY OF Eagle) ss.

Subscribed, sworn to and acknowledged before me August 27, 2015, by
Briston Peterson, as Applicant.

Witness my hand and official seal.

My commission expires 6/11/18.

Suzinda A. Westerlund
Notary Public

PROJECT TEAM

Owner

Alice Stott
0251 Emma Rd.
Basalt, CO 81621
970.927.3852.

Applicant

MSP 1
Briston Peterson
20 Sunset Drive #1
Basalt, CO 81621
970.923.3088
briston@brikor.com

Civil engineering/Surveying

Sopris Engineering
502 Main Street, Suite A3
Carbondale, CO 81623
970.704.0311

Planning/Coordination

Mark Chain
Mark Chain Consulting, LLC
811 Garfield Avenue
Carbondale, CO 81623
970.963.0385 (office)
970.309.3655 (cell)
mchain@sopris.net

Architect

Chris O'Grady
Kephart Architects
2555 Walnut Street
Denver, CO 80205
303.832.4474

Geotech

Hepworth/Pawlak, P.C.
5020 County Road 154
Glenwood Springs, CO 81601
970.945.6777

Water Rights

Resource Engineering Inc.
909 Colorado Ave.
Glenwood Springs, CO 81601
970.945.6777

Environmental Analysis

Waste Engineering, Inc.
2430 Alcott Street
Denver, CO 80211
303.433.2788

Landscape Architecture

RCLA
Richard Camp
P.O. Box 958 –
Carbondale, CO 81623
970.963.7123

SECTION 2

Project Narrative & Support Information

**Project Background/Development Plan Summary
Comparison with 2009 Approval
Phase 1 PUD Reinstatement & Extension
Phase 2 Sketch Plan
East Basalt Future Land Use Map
Selected Responses to James Lindt Letter of Completeness 2-8-16**

SECTION 2 - PROJECT NARRATIVE

TYPE OF APPLICATION & INTRODUCTION

This is a land use application for the following actions:

- Reinstatement of PUD approval for Phase 1 of the Stott's Mill PUD.
- Sketch plan for Phase 2 of the Stott's Mill PUD, AKA the multi-family area component for Stott's Mill

This is the second land use application for this cycle of the Stott's Mill PUD and Subdivision review. As indicated previously, Stott's Mill was originally approved by the adoption of Ordinance No.18-Series of 2009. For a number of reasons, the project did not move forward at that time and the property was not annexed and the land use entitlements lapsed. A new annexation for the Stott's Property was submitted in December 2015. The purpose of this application is to Reinstate the PUD approval for the single-family area and to have a sketch plan reviewed for a revised multifamily component. Assuming approval of these two elements of this land use application, the Applicant intends to submit an additional application in the early spring which will include the final subdivision and any outstanding preliminary plan and final plan elements for the entire Stott's Mill property. It is the intention at that time to formalize all agreements, record all documents and begin installation of infrastructure in the summer of 2016.

Format of Application

While this land use application requests separate actions, the applications are integral to each other. Some of the submittal requirements are identical, and some are unique to only one of the applications. Another necessary component is comparing the 2015/2016 Stott's Mill submittal with what was approved in 2009 and identifying significant changes. Therefore, this application is laid out in the following format:

Brief Project Description

Describe Changes in Land Use Plans

- Outlining differences from Stott's Mill 2015 with previous application.
- Providing summary project data for the entire project.

Phase 1 PUD Reinstatement

- Identifying differences in Phase I submittal portion with 2009 approval including;
- All relevant written and graphic information required for a Preliminary Development Plan.
- Appropriate graphic material and final summary data chart required for Preliminary Development Plan.
- PUD zoning and conformance chart/information.
- Landscape plan.
- Updated utility plans.

Phase 2 Sketch Plan

- Development and planning objectives.
- Description of uses.
- Statement how proposal relates to Master Plan and Three-mile plan and 2009 approval documents.
- site summary data for Phase 2

Information Common to Both Applications Such As Utilities, Drainage, Geotechnical Aspects, etc.

PROJECT INTRODUCTION AND DEVELOPMENT PROGRAM

Project Site

The Stott's Mill property is 18.01 acres in size and is located on the east side of Southside Drive between the Southside PUD Subdivision and the Basalt High School. The vicinity map is attached. The parcel is relatively flat and has no geologic hazards. It is one of the largest undeveloped parcels that lies within the Basalt Urban Growth Boundary (UGB). It is bounded on the north by the Home Supply Ditch; on the east by agricultural land; on the south by the RFTA Trail Corridor than on the west by Southside Drive. The site has recently been the home of Stott's Lumber Mill, and was used as agricultural land prior to the sawmill activities. The property is accessed from Southside Drive and can be connected to the Southside Subdivision via a connection to Allison Lane. Town utilities are presently located in Southside Drive.

Development Program

Stott's Mill is a new urbanist development which features a grid system laid out on an east/west access. Alley access is provided for the heart of the project, which allows a streetscape to accommodate parallel parking on both sides of the street. A total of 156 residential units are being proposed. The project will comply with the Town's Amended Housing Guidelines. Initially, it was proposed that all the affordable units will be rental units in the Multifamily area. This may be reconsidered after review with Town Staff and the various Boards. If the Phase 1 Single-Family Area proceeds to construction first and separately from Phase 2 (Multifamily Area), Affordable Housing per code will be done concurrently with the initial construction. A summary of the residential land use is provided below.

STOTT'S MILL RESIDENTIAL SUMMARY

PHASE	LOCATION/AREA	# UNITS	UNIT TYPE	COMMENT
1	Block 1	12	SFD/dup	
1	Block 2	12	SFD/dup	
1	Block 3	12	SFD/dup	
1	Block 4	12	SFD/dup	
1	Block 5	12	SFD/dup	No alley access
2	MF Lot	96	Apartments	
TOTALS		156		

Project Elements

Multifamily Component. The west part of the project adjacent to Southside Drive is being proposed for up to 96 apartment style/loft units. The underlying zone district for this part of the project is proposed to be R-4 Mixed Density. Proposed parking will be provided on the multifamily lot as well as adjacent rights-of-way. The Development Plan is to have these units remain as rental properties and they will not be subdivided or condominiumized. The plan calls to allow home occupations, which would be similar to standard town code provisions, allowing up to 15% of the floor area to a home occupation use.

Single-family component. The heart of the project is the east/west grid pattern which is proposed to comprise up to 60 single-family homes on small lots. The majority of lots are designed to be either 28 foot or 42 foot wide by 120 foot deep.

Block 5 on the eastern portion of the property is proposed to have lots approximately 43.5 feet in width. Block 5 is the only area that will not have alley access. All other lots will be access off of a paved alley. The 28 foot wide lots are intended to provide homesites with sizes that range from 1328 ft.² to a maximum of 2000 ft.² of livable area, not including garage space. The 42 foot wide homes will have a maximum size of 2376 ft.² of living area. Required front porches will help frame the streetscape. Houses and zoning requirements will generally conform to the R-3 Traditional Neighborhood/Hill District standards. No FARs being proposed, but the house size limits noted above are being included in the zoning. There will be 10 foot utility easement along front lot lines and 7 foot utility easements along the rear. Side yard setbacks will be a minimum of 5 feet, with 10 foot being the minimum between residential structures unless duplex units are approved. Zero lot line setbacks for garage structures only are being proposed, which is consistent with the 2009 approval. The separation complies with updated Building Code criteria. Home occupations for this zone district are proposed to be able to utilize up to 30% of living space for an individual business and the potential of having one FTE employee. All other aspects of a proposed Home Occupation will have to conform to Basalt Municipal Code requirements, including application procedures.

The single-family lots in Block 5 do not have alley access. Shared driveways will be utilized. The shared access driveways are shown both on the Site Plan and the Landscape Plan in Section 3 – Technical Documents. Layout schematics for the lot lots themselves have been added to the Technical Documents section. There are many alternative layout schematics but we have chosen two that work. Option A shows a lot with a one car garage located approximately 42 feet from the lot line. This is a one car garage which also allows some storage. Two cars can be parked between the garage and the lot line. This option shows a relatively narrow home – 18 foot in width and 48 feet in depth which is in keeping with homes on many of the narrower lots in Stott's Mill. This layout allows for a relatively spacious backyard.

Option B utilizes a two car garage format with the garage being 24 feet x 24 feet in dimension. The driveway entry has been rotated 90° so that garage doors do not stare directly at the streetscape. The front porches in this format are set back further from the property line in order to allow access to the garages. These dwelling units are slightly wider than those in the previous option; 24 foot in width.

As per the Stott's Mill template, all units have front and back porches. The two car garage option would feature garages with a zero lot line/ shared common wall. As with the remainder of the single-family area for Phase 1, the Applicant

proposes to have the option of zero lot line development for the residential portion of the structures.

Circulation. The grid street system is generally laid out on an east/west access. The rights-of-way range from 50 to 55 feet in width. There is one pedestrian/trail easement on a north-south access designed to be 12 feet in width. Right-of-way dimensional information is contained in the technical documents section.

Alley width is 16 feet to allow for adequate turning movements into garage/carports, which will have a minimum 7 foot setback. Required parking for most single-family lots is provided off of the alleys, with no driveway cuts being allowed on the formal streets. Streets will have parallel parking lanes and sidewalks on both sides. A connecting point with the Southside PUD is also being provided at Allison Lane.

Pedestrian bulb-outs are being provided at all street intersections, including Southside Drive in order to facilitate pedestrian safety and access. Some mid-block bulb outs are also being proposed in order to break up long rows of parallel parking, create pedestrian “safe havens” and provide a more appealing streetscape. An open space parcel at the northeast corner of the project is also being proposed.

A three-way stop intersection is being provided at Southside Drive and the Norse portion of the project (Southside Drive & Running Brook Drive intersection). This would allow a Mini-Roundabout to be constructed in the future. Any roundabout discussion will occur during the project review. As part of the Completeness Review by staff, more information was requested related to the proposal for the Mini- roundabout, an updated Southside Traffic Study and Highway 82/Basalt Avenue improvements. These items are being addressed at the end of this section.

Open space and park facilities. A total of 4.5 acres of open space is being provided in three discrete parcels. Size and location of the open space areas are shown in the table below:

OPEN SPACE SUMMARY

OPEN SPACE AREA	SIZE (SF)	SIZE (ACRES)
NORTH PARK	68,368	1.57
PARCEL A	6,065	0.14

SOUTH PARK	121,679	2.79
TOTAL	196,112	4.5

The “North Park” area is 1.57 acres in size and backs up to the Home Supply Ditch and the Southside PUD. This is designed to be a passive park. The irrigation supply pond is proposed to be located in the northern portion of the park. The storage capacity of this pond is approximately 3.5 days. The pond is being designed with a plastic liner in a shallow bench to ensure safety of people or children are attracted to the pond area itself. The Home Supply Ditch is being fenced off for safety purposes. A path is located along the south portion of the park itself.

The South Park is 2.79 acres in size and is more suitable for active recreation. The South Park will include a connection with the RFTA Corridor. Some amenities include:

- water fountain
- restroom facilities
- picnic tables
- bike racks
- benches
- children’s play area

There will be some sort of “green boundary” and fencing separation between the RFTA Trail and South Park itself. There previously was an agreement and a conceptual design for the fence to separate these parcels. This agreement will have to be re-executed. Free movement between the RFTA Trail and South Park will be provided, though actual connection points are limited.

The final open space element is an open space parcel which could provide a connection to the property to the east located at the northeast corner of Stott’s Mill and the southeast area of North Park adjacent to Allison Drive (Parcel A).

The drainage and storm detention facilities are provided in North Park. This detention area was originally designed to accommodate a 25- year storm event through a system of dry wells and underground drainage chambers. Storm events larger than the 25 year storm have an outlet from the storage areas that will put some drainage into the Home Supply Ditch. An updated Drainage Report will be submitted with the final subdivision and final plan applications.

Phasing of Park Construction. North Park will be constructed and finished with the first Phase of construction. As irrigation facilities and the drainage system are contained in North Park, this will be the first priority for completion. It also makes sense to build this Park with the initial phasing and construction so that the buffer with Southside Subdivision can be completed with the initial construction. We are also open to talking about a specific date for completion as we are still uncertain of the number of homes that will be included in the "initial construction" phase.

South Park is proposed to be completed when 50% of the approved units are completed and ready for Certificate of Occupancy. Developer and contractor will work with the Town in case certain items are viewed as critical for early completion (e.g. storage facility or perhaps bathroom for users of the Rio Grande Trail).

DEVIATIONS BETWEEN CURRENT PLAN AND 2009 DEVELOPMENT PLAN AND APPROVAL

The development, zoning and site plan for the 2016 Stott's Mill project is very similar to the 2009 Plan approval. Many of the changes are small details and often times center around specific obligations of the previously approved Affordable Housing Plan. We have provided a "strikethrough" version of the 2009 approval ordinance (Ordinance No. 19 - series of 2009) in the application so one can see point by point changes and comments on virtually each condition of approval (in Section 4 – Miscellaneous documents).

Similarities with 2009 Plan Approval

In the big picture, the project has the following similarities:

- Parks and Open Space Plan that is nearly identical – Open Space is virtually the same acreage and there are only minor deviations.
- A street and alley system running for the single-family area in an east-west orientation. This assists with provision of solar access.
- The single-family area has relatively narrow, long lots with the average widths being 28 feet and 42 feet with the exception of the east most row of lots (Block 5).
- The alley system allows access from the rear of the lot so street frontage is not interrupted by street cuts, and dominated by garages.
- The majority of the street frontage will have front porches as the defining element in a New-Urbanism format.
- Allowance for a right-of-way connection with the parcel to the east which is currently undeveloped.
- Design of a three-way stop with Southside Drive which will allow construction of a mini-roundabout in the future.
- Request to provide housing to the RE-1 School District in lieu of dedicating land.
- HOA will maintain the irrigation systems in North Park and South Park and maintain the alleys.
- Complies with Open Space conditions including those concerning the Home Supply Ditch with the exception of the "active play area" in the southeast corner of South Park which was characterized by tennis courts and basketball courts.

Differences with 2009 Plan Approval

- Affordable Housing will comply with 2015 changes to the Town of Basalt Affordable Housing Guidelines. One option is that the majority of Affordable units will be rental units within the multifamily area which is now designed for buildings with a total of 96 apartment units. The Applicant is also looking at providing some “for sale” housing that would meet affordable housing guidelines in the single-family area. The final mix will need to be determined as we work through the total cost of the project including the allowed category unit sale prices and allowed rental rates. (Note: If what is listed as Phase 1 in this application proceeds to construction first and separately from Phase 2, Affordable Housing to meet code will be part of that Development Program).
- Related to specific conditions on Affordable Housing items – as the Applicant will comply with current Housing Guidelines, many of the individual conditions mentioning “owner/builders”, “critical workers” and an “anti-flip device” will no longer be necessary from any future approval.
- A total of 60 single-family, narrow lots are proposed for the Phase 1 area (63 approved in 2009).
- The eastern row of lots in Phase 1 (Block 5) has been slightly modified. The lots are now approximately 43.5 in width and there are 12 of them as opposed to the former plan which had somewhat larger lots. These lots have the same depth as the other single-family lots within the Development (approximately 120 foot in length). Lot sizes average about 5,235 SF.
- The Phase 2/multifamily area is proposed now to be characterized by apartment style units. No individual ownership is being proposed. The Phase 2 plan proposes for three-story apartment buildings with each building having 24 apartment units – for a total of 96 units.
- Removal of the following conditions from the new Stott's Mill Plan:
 - A bid for installing infrastructure or vertical construction for Parcel C of the Basalt Design District.
 - Day care unit. The applicant suggests that the Day care facility be put in another location that is closer to the main transportation corridors in Basalt. A day care facility should probably be relatively large with a correspondingly large recreation area (in proximity to State Highway 82 or Two Rivers Rd.)
 - Car share program (provision of two parking spaces in right-of-way and \$200 per unit)

STOTT'S MILL PROJECT DATA

Site Area:	18.014 Ac.
Max # of Residential Units	196
Max # of Multifamily Units:	96 (Phse 2 MF lot only)
Max # of SFD:	60
Density (Gross):	8.66 units/ac.
Density (net):	16.9 units/ac.
FAR:	0.542 ¹
On-street parking:	163
Approximate # of bedrooms:	324 +/-

<u>Land Use Summary</u>	<u>Total Size</u>	<u>%</u>
Right-of-way	4.29 Ac.	23.8
Public Open Space	4.5 Ac.	25.0
MF Residential	3.61 Ac.	20.0
SF Residential	<u>5.61 Ac.</u>	<u>31.2</u>
Totals	18.01 Ac.	100.0

¹ Based on 218,000 approximate floor area and 9.22 acres (401,623 SF) of private lot area.

PHASE 1 PUD REINSTATEMENT

The PUD reinstatement for Stott's Mill requires restating many of the written, graphic and technical materials supplied as part of the Preliminary Development Plan (section 16 -66 (3)). The written material and some of the necessary attachments will be put into this following section. Required charts and PUD summaries will be included in this section.

Required Written Information

1. Legal description. Included with the Application Forms.
2. 2. Statement related to any deviations between 2009 Development Plan approval.

Response: changes between the 2009 approval and the proposed Development Plan are noted above.

3. Statement of planning objectives of the PUD. Include allowed uses, schedule of requirements, PUD design standards and any proposed modifications.

Response: PUD Objectives are noted below and are virtually identical to the 2009 approval. Schedule of uses in comparison with PUD and subdivision design standards and requested modifications/variances will also be included in this section.

PUD OBJECTIVES

1. To build a traditional neighborhood with a grid pattern of streets and alleys that enables a maximum of southern exposure for the majority of single-family residential units.
2. To provide an affordable housing program that meets the updated requirements of the Basalt Affordable Housing Guidelines (2015)
3. To provide affordable housing at an acceptable density to the adjoining properties.
4. To allow the single-family areas of the PUD to accommodate larger than normal home occupations in order to provide for the creation of local businesses and provide local employment opportunities with a minimum of commuting distances.

5. To provide a streetscape with architectural elements that focus on living area and pedestrian improvements as opposed to being dominated by garages and street cuts.
6. To construct a development with logical pedestrian and vehicular connections to adjoining properties while maintaining adequate Parks and Open space and connection to the valley wide trail system (RFTA/Rio Grande Rail Corridor).
7. To provide a project that helps implement the Basalt Master Plan.

STOTT'S MILL PUD ZONE DISTRICTS

A. ZONE DISTRICT REGULATIONS

Intent of Individual Zone Districts. The Stott's Mill PUD is made up of three zone districts. The intent of each district is described below. Please note that the R-4 MD district is a straight zone district according to the Town of Basalt Municipal code, but it is being included here in the schedule of uses so it will be easier to reference.

1. R-4 MD District. The intent of this zone district is the same as the Town's intent statement. That intent is being repeated here: "It is the intent of this zone district to promote the creation of affordable community housing or attainable housing. This zone district encourages affordable and attainable housing units through the use of small lots, flexible lot configurations, a mix of lot and home sizes and efficient use of land".

2. PUD/R-3 TN Zone District. The PUD/R-3 TN Zone District is intended to be a new urbanist, small lot neighborhood with alley access on lots oriented along an east-west grid network. Lots generally range from 28 feet to 42 feet in width. Allowed uses are single-family detached and duplex style dwellings, with the potential of constructing townhome units upon a special review by the Town. The district is meant to replicate the development pattern of the R-3 Traditional Neighborhood/Hill Zone District in residential character.

3. PUD/Open Space. The intent of the PUD/Open Space Zone District is to provide an adequate parking open space system for the residents of Stott's Mill,

the Town and users of the RFTA Corridor Trail System. North Park and South Park are the primary open space features within the Stott's Mill Neighborhood.

Conflict Statement. Chapter 16 "Zoning" and Chapter 17 "Subdivisions" of the Basalt Municipal Code, pertaining to zoning and subdivision's respectively, shall be applicable to the Stott's Mill PUD in so far as they are consistent with the zone district and development standards set forth below. To the extent that any specific subdivisions or zoning regulations contained in Chapters 16 and 17 conflicts with any provisions regarding use, density and supplementary requirements of this PUD, such conflicting provisions of the code shall not be applicable and the provisions of these PUD zoning regulations shall control.

Schedule of Uses and Requirements. To facilitate public understanding of this Section and for conventional reference and use, the following schedules are provided for the residential zone districts of the Stott's Mill PUD. The schedules are part of the PUD Zone District regulations for the Stott's Mill Development and may only be amended as part of a Zone Text Amendment to the Stott's Mill PUD Regulations in conformance with the appropriate procedures outlined in the Basalt Municipal Code.

Schedule of Uses. The schedule of Uses indicates by District those uses that are permitted by right, permitted by special use permit, permitted as a conditional use or Prohibited. Any use that is not specifically permitted shall be deemed to be excluded. If a question arises as to whether a specific use does or does not fall within the expressed categories, any person may apply to the Planning and Zoning Commission for a determination as to whether a specific use is permitted.

Schedule of Uses

<u>Use</u>	<u>PUD/R 3-TN</u>	<u>R-4 MD</u>
Single-Family Dwellings	P	X
Two Family Dwellings	C	X
Accessory Dwelling Unit	X	X
Townhomes (Note 1)	S	X
Apartments/Flats (Note 1)	X	S

Home Occupations ²	C	C
• % floor area in DU	30	15
School	X	X
Churches	X	X
Community Centers	X	X
Small Day Care	P	P
Large Day Care	X	X
Neighborhood Commercial	X	X
Convenience Store	X	X
Bed & Breakfast	X	X
Adult Entertainment	X	X

P= Permitted Use C= Conditional Use S= Special Use Permit
X= Prohibited

Note 1: Townhomes for more than 2 units and Multifamily structures with more than 4 units are subject to special review unless a site plan and special review application for the multifamily structures is processed during the Final PUD Plan or Subdivision Plat process and approved by the town.

² Home Occupations are to follow procedures outlined in Section 16-202 of the Basalt Municipal Code and are considered a conditional use permit. Home Occupations are to be located within a dwelling unit only, and may not be located in an accessory building or a garage. Home Occupations in the PUD/R-3 TN may have up to one FTE in addition to any workers who live in the dwelling unit.

Schedule of Requirements. The Schedule of requirements includes basic a bulk, setback, density and open space requirements for the Zone District's within Stott's Mill.

B. SCHEDULE OF REQUIREMENTS AND CONFORMANCE/VARIANCE REQUESTS WITH R-3 TN PUD ZONE DISTRICT

CONFORMANCE/VARIANCE REQUESTS: R-3 TN ZONE DISTRICT

ITEM	R-3 TN STANDARD	CONFORMANCE/VAR. REQUEST	EXPLANATION
Min Lot Area (SF)	6,000	3,360	To allow lots in traditional, flexible array as per original Town Plat.
Max Bldg. Ht. (feet)	24	Conforms	
Highest point pitched roof (ft.)	28	Conforms	
Max # stories	2	Conforms	
Min Lot width (ft.)	50	28	To allow smaller, but still buildable lots & provide flexibility.
Front Yard setback Local street	10 ft. porch, 16 ft. living area	Conforms	
Rear Yard (ft.)	10	7	For alley parking and garages. Design still has adequate turning radii.
Side Yard (ft.)	7.5	5	Building code met with this requirement.
FAR	0.35 & 0.5	None	Request straight dimensional criteria. Design produces liveable and buildable lots. "Build-to" lines or setbacks

			can be incorporated onto final docs for clarity (see dimensional drawings).
Max Lot Coverage	None (FAR)	None	See above comment.
Min. Landscape	20%	Conforms	30% proposed
Parking	Per Section 16-91	Conforms	Previous Plan (2009) required only 2 spaces on lot. Remainder could be placed in street ROW. Fewer driveway cuts because of alley loaded lots

4. Disposition of maintenance responsibility and service responsibility for water and sanitation, energy supplies etc.

Response: The Developer will install all infrastructure. In general, all municipal services and utilities will be dedicated to the appropriate service provider once constructed. Exceptions are that the HOA will be responsible for maintenance of the irrigation system within the open space areas (generally, North Park and South Park) and the maintenance of the alley areas within the street system.

5. Will serve letters from utilities and public agencies.

Response: Will serve letters were included with the Annexation Application. Please note that the Applicant received permission from the Home Supply Ditch Company regarding improvements in the area of Southside Drive and North Park. These agreements will have to be reviewed and re-executed prior to recording of approval documents.

6. Proposed development schedule.

Response: Development schedule in terms of exact timing is unknown at this time and depends on project review and final approvals. The Developer hopes to begin installing infrastructure for the project in mid-summer of 2016.

7. Listing of all property owners and/or authorized agents, including members of the Design Team. Statement authorizing filing and processing of application.

Response: A listing of names and contact information of the Design Team is submitted with the application forms and related documents in section 1 of the application. Statements authorizing filing and processing are submitted separately.

8. Draft agreements, conveyances, restrictions/proposed covenants.

Response: Agreements, covenants and restrictions including deed restrictions for Affordable Housing units were finalized with the 2009 approval. These of course will have to be modified. Applicant proposes that drafting of agreement/covenant/restrictions wait until scope of changes to the Plan are approved and conditions of approval are known.

9. Plan for unified control of common areas of the PUD.

Response: A Homeowners Association which meets all the provision of the Colorado Common Interest Ownership Act (CCIOA) will be created and the necessary documents available for review and approval by the Town. The HOA will maintain all common areas owned by the Association, and in addition will maintain the alleys and the irrigation system within the Parks and other Open Space areas. A separate entity will own the multifamily housing units and will maintain that lot(s). That entity will also be part of the Master Association.

10. Proposed terms of reservations and dedication of public rights-of-way, easements and other public lands.

Response: Dedications of public rights-of-way and easements will follow's standard operating procedures for the Town as well as the Basalt Sanitation District. The only difference will be the fact that the HOA will maintain the irrigation system in the parks and the stormwater conveyance system in the parks.

11. Names and addresses of all property owners within 300 feet.

Response: Provided with Miscellaneous Documents (Section 4).

12. Reports, site plans and supporting documents.

Response: Comments on status of technical reports and site plans and other details are included at end of this section.

PHASE 2 SKETCH PLAN

Introduction

Initial conversations with Town Planning Staff centered on the fact that the Developer was proposing to modify the multifamily area of the Stott's Mill PUD. This was because the economy of the mid-Valley area has changed so many times since Stott's Mill was proposed in 2005 that what was submitted at that time may not be economically viable. In addition, the Development Team is of the opinion that a different multifamily plan may be more advantageous for the area. The Plan now revolves around some increased density and apartment style units because of such factors as the success of the RFTA Trail, the nearby BRT system, strong demand for rental units, etc. However, as the Development Team looked at proposed PUD zoning for the Phase 2 Multifamily area, it appeared that the town's relatively new R-4 Mixed Density Residential District may be a better fit for zoning for the project. We feel that the zoning as outlined in the general town standards fits nearly every schedule of use and development requirement. The only outstanding issue that we saw was Floor Area Ratio. The Floor Area Ratio for the R-4 Mixed Density District has a standard of 0.5:1 for allowed FAR, with the ability of the Town Council to approve an FAR between 0.5:1 and 0.8:1. The proposed FAR for this project is approximately 0.69:1.

We are also aware that in order to implement zoning for the R-4 Mixed Density Residential District that a review according to section 16-31 of the Basalt Municipal Code is required. This includes a site plan review followed by a final plan review. We therefore are submitting this sketch/site plan review according to the procedures in 16 - 31 and will address the topics noted in the Town Code. During the Town's review, if the P & Z and the Council indicate that a PUD for Phase 2 is more appropriate; we will either amend the submittal or create a new application for Phase 2 as directed.

Per 16-31 (2) supplemental requirements for R-4 mix density residential district – Site Plan Review

General Overview

Existing conditions. An existing conditions map is included earlier in this section of the application. What is proposed to be the R-4 MD district is presently vacant

from a town development perspective. The area was originally used as agriculture/forage production, and in recent years was part of the Stott's sawmill and lumberyard activities. Photos of the property in its existing condition was included in the Annexation Application.

Mix of land uses. What is proposed for the R-4 MD area of Stott's Mill is relatively high density in nature. The R-4 MD designation is very similar to what was proposed in the 2009 Stott's Mill land use application – which was designated as R-4 PUD and was characterized by proposed triplex, four-plex and possibly higher density components which were dependent on special use review. This area acts as a good transition from the single-family areas of Southside PUD and the narrow lot single-family area of Stott's Mill towards Basalt High school and the RFTA Trail Corridor. The area on the other side of Southside Drive, which is classified as a collector road, is parcel C of the Basalt Design center as well as a lot just south of Parcel C. These areas may be used as high density development parcels in the foreseeable future. We believe that this Phase 2 area which is slightly higher density than the rest of Stott's Mill, is appropriate due to its location adjacent to Southside Drive, close proximity to the parks and the Trail Corridor, the high school and relatively close proximity to the RFTA Park, N Ride (approximately ½ mile).

Height. This area will be built in compliance with the three-story and R-4 MD height standards of 33 feet height limit and 35 feet to top of ridge.

Floor area. FAR for this zone district of the Stott's Mill PUD is computed as follows:

$$\frac{109,200 \text{ SF- total building area}}{157,388 \text{ SF of lot area}} = 0.6938 \text{ FAR}$$

Calculations are based on the following:

- four buildings, each footprint being 70' x 130' (9100SF per floor)
- three floors in each building – 9100SF X 3 = 27,300 ft.² per building
- 4 buildings X 27,300 SF = **109,200 SF** of building area
- land area= 3.613 acres or **157,388 SF**

Section 16-31 (3) "Dimensinal Requirements" of the Basalt Municipal code has the following standards in terms of FAR

- FAR standard for R-4 MD: 0.5:1
- FAR allowed by Special Review 0.8:1 (to be approved by Council)

- FA are greater than 0.8:1 (to be approved via PUD)

The FAR proposed for the Stott's Mill R-4 MD Residential Zone District falls within the FAR which can be approved by special review via R-4 MD review procedures. To our knowledge, FAR is the only zoning requirement that is above the outlined R-4 MD review process.

Parking. Provision of adequate parking is always an important component of a significant residential development and often the subject of community concern. This proposed multifamily component of Stott's Mill would yield a total of 96 apartment units mixed equally between one and two bedroom units. Required parking is 192 units according to Town standards (2.0 spaces/2 bedroom unit, 1.5 spaces/one-bedroom unit and 0.25 spaces/unit for guest parking). Parking is provided for this multifamily unit area as shown in the chart below:

Area	# of Parking Spaces Provided
On lot	148
Adjacent to Running Brook Dr.	4
West side of Centennial Lane	19
East Side of Southside Drive	15
North Side of Amesbury Drive	6
<i>Total</i>	192

Relationship to neighboring properties. Described in "mix of land uses" above.

Consistency with applicable code provisions. The normally prescribed schedule of requirements for the Town's residential district are contained in Section 16 - 22 of the Municipal Code. For the R-4 MD Residential District, this extensive chart notes that the basic bulk, setback, density intensity and other requirements refers to supplemental regulations contained in Section 16 - 31. The dimensional requirements noted in 16 - 31 a (3) are compared below:

CONFORMANCE/VARIANCE REQUESTS: PROPOSED R-4 MD ZONE DISTRICT

Item	R-4 MD Standard	Conformance/Variance Request	Explanation
Min. Lot Area	7,500	Conforms (MF/Phase	Multifamily/Phase

(SF)		2 lot is 157,388 SF	2 area designed to accommodate all parking, setback and other dimensional criteria.
Max Bldg. Height (ft.)	33	Conforms	
Highest point – pitched roof (feet)	35	Conforms	
Max # Stories	3	Conforms	
Min Lot Width (feet)	70 ft.	Conforms	Note: Intent is not to resubdivide Phase 2 into smaller lots
Front Yard Setback - local Street/Major collector	10 ft.	Conforms	Building setbacks shown on site plan. They vary from 10 ft to 25 ft. in width.
Rear Yard	10 ft.	Conforms	
Side Yard	5 ft.	Conforms	
FAR	0.5:1 0.8:1 allowed if approved by Council at Hearing	Proposed FAR is 0.6938:1	Based on 109,200 total SF to outside walls, with total lot area being 157,388 SF
Max Lot Coverage	None	Conforms	Must be approved per Section 16-31 which are Supplemental Requirements for R-4 MD District and include a site plan review and a Final Plan Review
Min Landscape	10%	Conforms	
Parking	Per Section 16-91	See Note 1 below	144 spaces provided on lot and the remaining 44 located on street right-of-

Note 1: 44 of the required parking spaces including guest parking spaces are provided on the adjacent streets. Please note that within the entire Stott's Mill project area, there are 72 excess parking spaces over and above those required by code, and these are located in the rights-of-way. We think this is appropriate and acceptable for a number of reasons including the fact that as there are no commercial or other uses that may occur generally in the evening on weekends, and that there is more than adequate parking required within the project. Requiring additional parking spaces in our opinion would only add additional asphalt and hard surface to areas which often runs contrary to neighborhood desires. In addition, this may reduce what we feel is appropriate density in this area and affect the project intent which is to provide ample attainable housing for the Town.

Note 2: Regarding unit sizes and elevations. The actual units and the interiors of the Multifamily buildings have not been designed as of the end of February, 2016. The Design Team will ensure that the proposed one and two bedroom apartments comply with section 16-31 (3) a of the Basalt Municipal Code in terms of both minimum and maximum size requirements. Specifically, proposed size ranges will be:

- 1 bedroom units: size ranges will be between 580 SF and 965 SF
- 2 bedroom units: size ranges will be between 750 SF and 1135 SF

Intent of Zone District. The Intent of the R-4 Mixed Density is noted in section 16-21 as the following: "It is the intent of this zone district to promote the creation of affordable community housing or attainable housing. This zone district encourages affordable and attainable housing units through the use of small lots, flexible lot configurations, a mix of lot and home sizes and efficient use of land". The Stott's Mill Plan is in conformance with the establishment of this zone district as follows:

The R-4 MD component in the Stott's Mill plan will provide for a mix of one-bedroom and two-bedroom units at a sufficient density (96 units) that would help fulfill the critical need for rental units in both the short and long-term. The size of these units will average about 1000 ft.² In addition; part of the affordable component required by code for Stott's Mill may be placed in this portion of Stott's Mill. The R-4 MD component, when reviewed in conjunction with the small lot area provides a significant number of small and moderately sized units which will hopefully make this an attainable location for future and

current residents in Basalt. These units are generally smaller than the majority of units in the Southside area and taken together with its location – by the High School, RFTA Trail and approximately ½ mile from the Park' N Ride are accommodating residents where important community infrastructure is located.

Site Plan Review Criteria

Consistency with Basalt Master plan. Compliance with the Basalt Master Plan was addressed in detail with the Annexation Application. We are reinserting the responses related to conformance with the Master plan for your ease of review below.

This section demonstrates compliance of the Stott's Mill Development Plan and Annexation Application with the most appropriate goals and objectives of the 2007 Community Master Plan. Many of the goals and individual objectives did not relate to land use/development in general or the particular project and often times were policy and related suggestions that the town should pursue in order to make future development compatible with the Master Plan and other Community values. Therefore, we did not respond to those particular objectives. Responses are in italics.

4.1 Future Plan Use Objectives:

4.1.3 Ensure that future growth is fiscally supportable and can be served with the necessary and appropriate services and facilities without creating any undue financial burden on the Town. As part of this effort, establish methods for ensuring that development pays its own way and does not create an economic burden on the community;

Response: No undue financial burden should occur. Applicant will pay all fees as outlined in Town Code and such fees will be included in the Annexation Agreement and/or Subdivision Agreement. Developer will install infrastructure at Developers cost. Surcharges are already in place to recapture past costs on items such as Southside Water tank. It is assumed there will be cost-sharing agreements for other items such as a possible roundabout.

4.3 Three Mile/Annexation Objectives:

4.3.1 Strictly enforce the UGB identified in this master plan to ensure that future development occurs within or close to existing developed areas.

Response: the property is in the Urban Growth Boundary.

4.3.8 Dedications should meet or exceed current code requirements reflective of the extra impacts associated with annexations of new lands. In the case of parkland, a dedication of two acres of parkland per 125 estimated residents should be provided unless fees in lieu of parkland or other options are negotiated as part of the annexation agreement. Evaluate formulas for increasing other dedication requirements where annexation is involved;

Response: Dedications will be made per Municipal Code or as negotiated as part of the land use approval. The Project Team has also enumerated all fees that may be relevant in the Town Code that may apply to the project and will provide this and related information to Town Staff.

The dedication policy for Open Space as part of the Annexation process exceeds normal code provisions. However, doubling the Open Space requirement would compromise the project layout which has been in the works for over a decade. We will address this issue in this response section. First of all, the Basalt Municipal Code has multiple references for the provision of open space related to residential development. These sources and estimates are provided below. The code provisions vary from simple percentages additional to those based on population; and annexation allows for the provision of open space at a higher percentage. Town Parkland/Open Space dedication requirements are outlined below:

Development Program Assumptions

Project land area:	18.014 acres
# Single-Family Detached Units:	60
# Multifamily units:	96
Population – SFD Area:	180 (60 units @ 3.0 people/du)
Population – MF area	240 (96 units @ 2.5 people/du)
Total Population	420

Subdivision Dedication Requirements (Sec. 17-15)

- 1 acre/125 residents
- Projected population – 420 residents
- open space requirement is 3.36 acres

Annexation Dedication Requirements (per Master Plan)

- 2 acres/125 residents,

- Projected population – 420 residents
- Open space requirements = 6.72 ac. $\frac{420 \text{ residents}}{1} \times \frac{2.0 \text{ Acres}}{125 \text{ residents}} = 6.72 \text{ ac.}$

Planned Unit Development Dedication Requirements (Sec. 16-73 C)

- 30% of size of PUD
- Total open space = 5.4 ac.
- Total recreation element (75% of required) = 4.05 ac.

Total parkland dedicated capable of active recreation = 4.36 ac.

The present open space plan is identical to that provided with the 2006 land-use application. The North Park and South Park areas as proposed were designed because of their size as well as the fact that they provided buffers from the Southside Subdivision on the north and the transition towards the High School and Rio Grande trail on the south. We feel that the present provision of open space – a total of 4.55 acres is adequate for the following reasons:

1. The open space provision for the project meets the concept that was contemplated in the Comprehensive Plan. Please see East Basalt Future Land Use Map (attached).
2. The Stott's Mill Program Design included a certain number of access points onto Southside drive designed to allow two full blocks for narrow lot, single-family land-use. The streets are laid out on an east-west access that would allow the majority of the single-family units to utilize alley access and provide a pedestrian oriented and community friendly streetscape. The provision of additional open space would compromise this design.
3. The Stott Property is within the Urban Growth Boundary and is appropriate for construction of residential units at an appropriate density. It is where development has been predicted and planned for.
4. The physical park layout plan contains a number of amenities that are appropriate. They are outlined below:
 - The project has physical layout and trail connections to the Rio Grande trail which is an important trail corridor and open space amenity for the entire Valley. The proximity to the trail will allow residents of Stott's Mill, as well as those in Southside and Oldtown Basalt in general, to access many recreational and open space parcels quite easily.
 - The project is providing direct path connections from South Park to the Rio Grande Trail.
 - The Project is providing a small trail loop which cross-country skiers from the Rio Grande trail can utilize as a small exercise loop.

- A fully operational public bathroom is being provided in South Park. This is a facility that will be shared not only with the residents of the project and users the South Park, but also with Rio Grande trail users.
- A small storage facilities being provided for Public Works and the Nordic Council.

4.3.10 All rights-of-way for major and minor streets will be dedicated in accordance with this master plan;

Response: All rights-of-way, including alleys will be dedicated in accordance with regular town procedures. The Basalt Streets Manual is being used as a template for right-of-way design.

4.3.11 All infrastructure shall be compatible with the Town's standards.

Response: All infrastructure will comply with Town standards. See civil engineering documents.

4.4 Infrastructures/utilities

Objectives:

4.4.2 Continue to refine mechanisms to ensure that future development projects pay their own way. Some existing and possible future mechanisms include:

1. Concurrency regulations;
2. Impact fees (roads, recreation);
3. Subdivision improvement agreements;
4. Uniform standards for all roads and infrastructure facilities;
5. Public/private partnership agreements or tax increment financing;
6. Performance zoning;
7. Special assessments; and
8. Annexation agreements

Response: See previous comments.

4.4.6 Require new developments to connect to existing water and sewer systems. Prohibit the proliferation of small private water and sewer systems;

Response: The project will be connected to the Town water system and the Basalt Sanitation District's wastewater collection system.

4.5 Housing

Objectives:

4.5.3 Explore a wide range of affordable housing strategies to produce housing for local residents in an amount consistent with findings and recommendations of the Housing Needs Assessment. These strategies shall, at a minimum, significantly increase the percentage of the housing stock that is affordable. Solutions should include the appropriate balance of rental and ownership housing;

Response: The Developer will comply with Basalt's Affordable Housing Regulations and is proposing to provide affordable housing with rental units.

4.5.13 Identify specific locations in Town with particular potential for greater densities (including taller structures) within one half mile of existing commercial centers and in close proximity to transit facilities in order to avoid suburban sprawl and auto dependence;

Response: Stott's Mill is located within one half mile of the RFTA Park 'n Ride and is easily accessible to Basalt Avenue/Highway 82 commercial and service establishments and the downtown core.

4.5.17 Identify locations and develop regulations that would encourage small-scale, high-density starter housing which is affordable. Some characteristics that could be utilized to help make starter housing units affordable include; simple finishes, small house size, higher density (8-10 du/acre minimum), and shared parking

Response: the project is providing narrow lots and houses which will be size limited because of their dimensions. The smaller size and the inclusion of apartment style units will help with providing attainable housing.

4.7 Parks/Recreation and Trails

Objectives:

4.7.3 New development should provide for new trails at the time of development, and in accordance with the trails plan and input from public groups as appropriate in implementing trails. This should be a standard policy whether the project is in the County or the Town;

Response: Some trails are being provided in the parks proposed for Stott's Mill. The path adjacent to Stott's Mill and Southside Drive will be reconstructed and widened. Stott's Mills is also adjacent to the RFTA/Rio Grande Trail.

4.8 Environment

Objectives:

4.8.11 Strictly enforce the UGB identified in this master plan which was, in part, established in response to the desire to preserve wildlife habitat areas and migration routes;

Response: The project is within the UGB.

4.8.14 Establish environmentally sensitive building and development standards including energy code which would reduce the energy footprint of a typical home by 20%;

Response: The project will conform to Basalts Sustainable Building Regulations.

4.8.15 Encourage the use of renewable energy devices and renewable technology; and

Response: The site plan layout with predominantly east-west oriented streets and alleys allows for placement of solar and/or other renewable energy devices.

4.9 Historic Preservation

General

Response: There are no historic structures on the site. The developer will relocate a small, old structure that was used as a playhouse and for storage in one of the parks if requested.

4.10 Community Character

Objectives:

4.10.11 Limit house size as part of an effort to preserve small-town character;

Response: Residential unit sizes are limited in the proposal because of size limitations put on single-family lots. The narrow lot types designed for the single-family areas is a de-facto limitation to house size. The PUD zoning also limits house size. The apartment style units are modest, with an average size of about 1,000 SF

FINDINGS NECESSARY TO APPROVE R- 4 MIXED DENSITY RESIDENTIAL DISTRICT

A number of findings are required as part of a site plan review by the Planning and Zoning Commission and the Town Council according to section 16 – 31 (a) (2) a.4. The Boards shall consider the following factors:

- i. Compliance of the application with the Code in general and Section 16-31 in particular.
- ii. Compatibility of the proposed use with the character of the surrounding area.
- iii. General conformity with the Master Plan.
- iv. Ability of the application to satisfy the intent of the Zone District.
- v. Site plan review criteria of Article VII.

The application has addressed items “i through iv” in the section above, prior to the comments made on the master plan. We shall respond to the site plan review criteria of Article VII below:

Section 16 – 113: standards for Site Plan Review

- a) Lights and sign shall be located in a manner that will not be distracting to adjoining properties or passing motorists.

Response: there will be no commercially related signs in the development. Streetlights will meet Town code. Any signs for home occupations will also meet Town Code.

- b) Landscaping shall be provided in areas near the public right-of-way and located with consideration for energy conservation. An acceptable plan must be provided for the maintenance of the required landscaping areas.

Response: Landscape plan is included in the Technical Documents section. The Town will be required to maintain plantings within the parks,

and the HOA will maintain the irrigation system within the parks. A plan for maintaining other landscaping within the rights-of-way will be discussed with the Town during the application review. The HOA or private property owners will maintain all landscaping on private property.

- c) Control of storm drainage shall be provided so as not to damage adjoining properties. The plan must be approved by the Town Engineer.

Response: Storm drainage was approved with the previous plan. Storm drainage information will be updated with the Final Subdivision Application.

- d) Site design and building plan shall include provisions of or the need of the handicapped individuals as required by the building code or other ordinances of the Town.

Response: the Development Plan will comply with all ADA requirements.

- e) Approve landscaping or solid fencing capable of screening adjacent property shall be provided when commercial uses abut residential uses.

Response: NA No commercial properties are being proposed.

- f) Commercial and industrial uses shall conform to the following standards (not listed)

Response: NA

INFORMATION ON TECHNICAL REPORTS, SITE PLANS AND SUPPORTING DOCUMENTS

Technical reports

Geotech. A Preliminary Geotechnical Study was previously performed on the Stott's Mill Property and subject to the report dated October 23, 2007. This was previously provided to the town a number of times in the past with the Stott's Mill

land use application. It has also been submitted under separate cover with the annexation application in December 2015. A clarifying letter dated January 4, 2008 discussing groundwater and surface drainage conditions has also been submitted. It is our understanding that no additional Geotechnical information is required at this time.

Preliminary Stormwater Drainage Report. To clarify, a Final Drainage Study dated December 3, 2008 by Rhino engineering, Inc. was submitted to the town with the previous land-use application. The drainage study will have to be updated assuming changes similar in nature for Phase 2 are eventually approved. An engineering letter addressing drainage issues as they now stand is included in the application (Section 4, Miscellaneous Documents).

Floodplain, River Banks Stabilization and Wetland Areas. The project is not in the floodplain or adjacent to the river. No wetland areas exist on site. Bank stabilization ditch was addressed as part of the previous application.

SITE PLANS AND SUPPORTING DOCUMENTS

Proposed lot lines and dimensions. A site plan of the entire project showing lot lines and dimensions is included in earlier in this section of the application.

Existing Building And Propose Building Envelopes. Existing structures are shown on the Existing Conditions Map earlier in this section. Setbacks are shown for phase 1 on the Site Plan. The utility easements will be the same as the 2009 submittal and will be shown on all final subdivision submittals. Proposed building envelopes are shown for Phase 2. Finally, typical building footprints for Phase 1 are shown in lot schematic format in the Technical Documents section (3).

Recreational Open Space, Private Open Space And Common Open Space. The majority of open space provided in the Project is Parkland Open Space. North

Park and South Park were approved with the 2009 project and only minor variations in the southeast portion of South Park are proposed. See the Site Plan and Landscaping Plan. Common open space for Phase 2 is shown on the site plan and this is not been designed at this time since we are at this Sketch Plan level. Private open space for the single-family lots is shown on the Site Layout & Setback Schematic plans. The apartments will have private open space which would feature decks and/or patios which meet the town minimum requirements.

Easements, Utilities, Intersections, etc. Easements and proposed locations of underground utilities are shown on the Utility Plan. The location of underground drainage detention facilities in North Park are also shown on the utility plan. The drainage facilities were shown in detail in the 2009 engineering drawings and Drainage Study. They will be resubmitted as necessary with changes when Final Subdivision application is made.

Flood Protection. No flood protection is necessary for the project as it is outside the 100 year floodplain. The Floodplain is shown on the vicinity map.

Fire Protection. This construction plan is virtually identical to the 2009 land use application. This was reviewed by the Basalt Rural and Fire Protection District. These plans will again be reviewed by the fire department. The road sections meet both Town and Fire Department guidelines. Fire hydrant locations are shown on the utility plan.

Off-Street Parking Areas, Service Areas, Streets and Street Names. All these and related infrastructure are shown on the Site Plan. Trash receptacles for the multifamily area is still to be designed.

Location of Temporary Model Homes. Model homes will be located on lots 1 through 3, Block 1.

Location of Pedestrian And Bike Paths. Shown on the site plan. As an FYI, a 12 foot wide pedestrian path and easement connect the project on a north/south access giving an additional pedestrian access to both North Park and South Park (in addition to the general street right-of-way/intersection access).

Signage. No commercial signs will be provided with the development. Real estate signs, construction signs and model home signs will be provided as per Town Code.

Location of Low Income, Elderly or Other Specialized Housing. There is no defined elderly or specialized housing. Affordable Housing will be provided per Basalt's Community Housing Guidelines. Specific units and/or lots for Affordable Housing will be defined later on in the process.

Location of Dedications to RE-1 School District. The Proposal is to provide dwelling units available for School District occupancy and long-term rental or perhaps ownership basis as opposed to direct land dedication or other in lieu fees. Final negotiations have yet to take place with the School District, but this was approved in the 2009 plan.

General Landscape Plan. A landscape plan is provided in Section 3 (Technical documents). The plan is still conceptual related to phase 2.

Other graphics

Site Layout and Setbacks for Single-Family Area. Layout diagrams showing building envelopes, porches, parking spaces and garages are shown for the single single-family area including potential duplex lots. These diagrams show development options for the 28 foot wide and 42 foot wide lots. The Applicant intends to engage 4 or 5 local architects for designs on the single-family lots.

The designs for the multifamily area are proven building footprints for apartment buildings that had previously been developed in Colorado. Second level of design is being under taken at the present time. A local architect will be retained in the near future for making final site adjustments and designing building exteriors.

Street Cross-Section Schematics. Provided with the application.

Additional Information. No additional information has been requested at this time. We will be happy to provide additional explanatory materials as necessary.

RESPONSES TO JAMES LINDT'S LETTER DATED 2-8-16
2016 STOTT'S MILL COMPLETENESS REVIEW

The Completeness Review letter from Assistant Planning Director James Lindt asked the Development Team to address nine separate issues. Numbers 1 through 4 and number 6 had been addressed in portions of Section 2 of the application (Project Narrative and Support Information). The remaining 4 points are being discussed in this attachment. Responses are in italics.

5. Clarify proposal for Mini- Roundabout.

Response: Land will be dedicated so that a mini-roundabout can be constructed at a later time. In terms of ordination with the Stott's Mill project, the intent is to construct a three-way intersection at the proposed intersection of Southside Drive and Running Brook Drive and install stop signs for traffic calming purposes. Sopris Engineering has indicated that a roundabout is not necessary for traffic control purposes related to traffic impacts from the Stott's Mill development. It is also doubtful that a roundabout would be required for traffic control based on the entire Southside Area development potential.

The concerns we heard with the previous development proposal in 2006 is the desire for traffic calming and speed control, and much of this is caused by high school traffic during various parts of the day. A stop sign controlled intersection may fulfill this purpose.

Stott's Mill will be happy to discuss this in more detail during the land use review process. However, Stott's Mill should not have to bear the responsibility for design and cost of a mini-roundabout project.

7. CDOT Access Permit, Southside Traffic Study and Basalt Avenue/Highway 82 improvements.

Response: the Stott's Mill Design Team is aware that the Town's contract Engineer, SGM, is conducting an updated Southside Traffic Study. Sopris Engineering has indicated that with the additional number of units proposed for Stott's Mill that a CDOT Access Permit will be needed for the proposed development. At this time, Sopris Engineering is not aware that any specific traffic improvements would be required for the Basalt Avenue/Highway 82 area. It is thought that a pedestrian underpass will help greatly with the traffic flow at this intersection. It is also thought that some striping and other low-cost fixes may also improve traffic flow in the area.

We wish to note that Stott's Mill has contributed to two previous traffic studies for the Southside area. One is for traffic study done with the original application shortly after 2006. We also believe that AVMF contributed to a Traffic Study as

part of their plan post 2011. Stott's Mill is of the opinion that they have contributed their share of traffic studies in the past.

Related to proposed traffic improvements at the Highway 82/Basalt Avenue intersection, we have not had an opportunity yet to review any proposed data or related traffic improvements.

8. Provide information related to schematic elevation drawings and what design guidelines and proposed dimensional limitations could yield on single-family lots (Phase 1) and what the Phase 2 development (multifamily structures) will look like.

Response: Phase 1. The single-family properties are intended to be the same as they were with the 2006 application. These are contemporary, narrow single family structures that will be New-Urbanist in nature. Front porches and back porches will be required, with a 10 foot front yard setback in all cases. The homes will have alley access where available. Conceptual elevations were included in the Sketch Plan application in 2006 and the concept remains the same. The sketches are provided again for your information. We are also including a CD of the vision for the single-family homes that was made as part of the Sketch up presentation to the Town of Basalt in 2009. This presentation was made by Winston Associates). Design guidelines were put together in 2009 though specifics of the single-family area (Phase 1) were to be added at time of final document recording. The ultimate development/construction concept from the original application remains; to utilize 4 or 5 local architects so that some variation within the approved design parameters is available.

Phase 2. MSP 1 is meeting with the Design Architect on March 16th to provide direction and input on the next iteration of design and proposed elevations for the multi-family portion of the project. We will update the Town ASAP.

9. Daycare was a significant item during the original Stott's Mill review. Given that the daycare was a significant community benefit in the prior Stott's Mill approvals and that the mid Valley daycare shortage is a significant issue, please consider proposing to include the daycare impact fee that was recently approved in Willits Town Center

Response. The Applicant will address Daycare as part of the land use review process. Since conversation started with the Town in 2015, MSP 1 has consistently said that they believe Stott's Mill is not the appropriate place for a day care facility for a number of reasons. This is an issue that may require a more regional solution. A local option a option is to utilize a small portion of South Park. The Applicant will consider the daycare impact fee approved for the Willits

Town Center along with other exactions that would come with any review discussion or land-use approval. The project must work economically as well as fit into the big picture for the Town



Basalt Mini-Storage

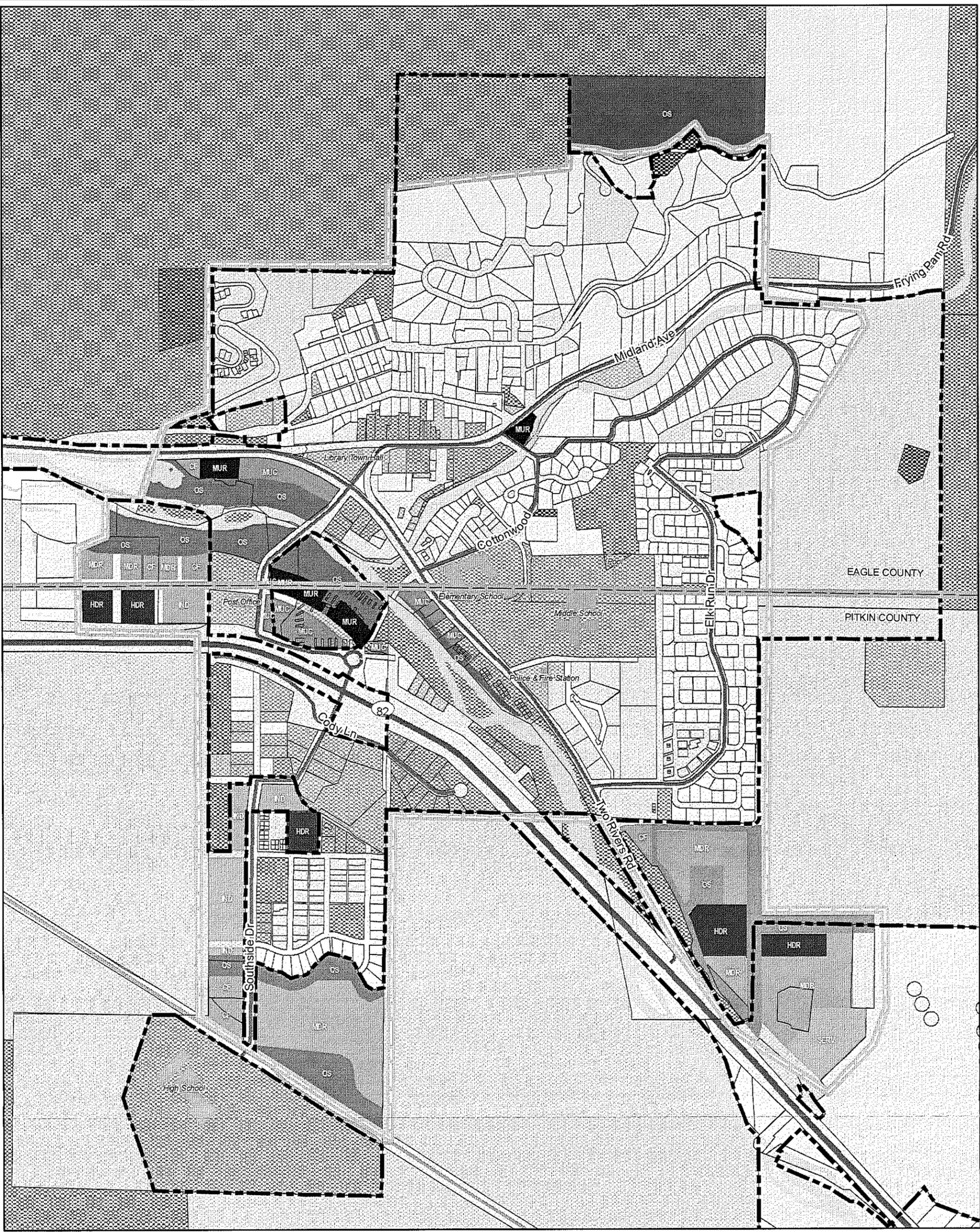
Southside Subdivision

Southside Drive

Stotts Mill Property

Basalt High School

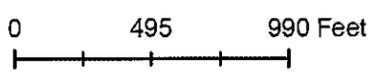
Rio Grande Trail



Mapping by Denise Tomaskovic & TerraCognito GIS

Town Boundary	Service	Low Density Residential
Urban Growth Boundary	Community Facility	Medium Density Residential
Mixed Use Commercial	Private Open Space	High Density Residential
Light Industrial	Public Open Space	Mixed Use Residential

- Notes:
- 1) Bold colors and white labels indicate future land use and stippled colors show existing or committed land use (see Figure 5 and Table 2.7.1).
 - 2) See typologies and text for additional guidance on desired land uses.
 - 3) Affordable housing to be included throughout all land use categories.



2007 Basalt Master Plan

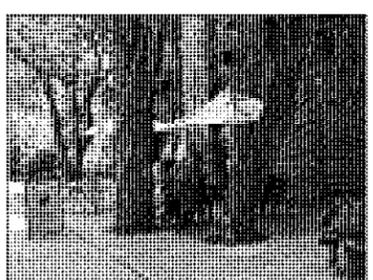
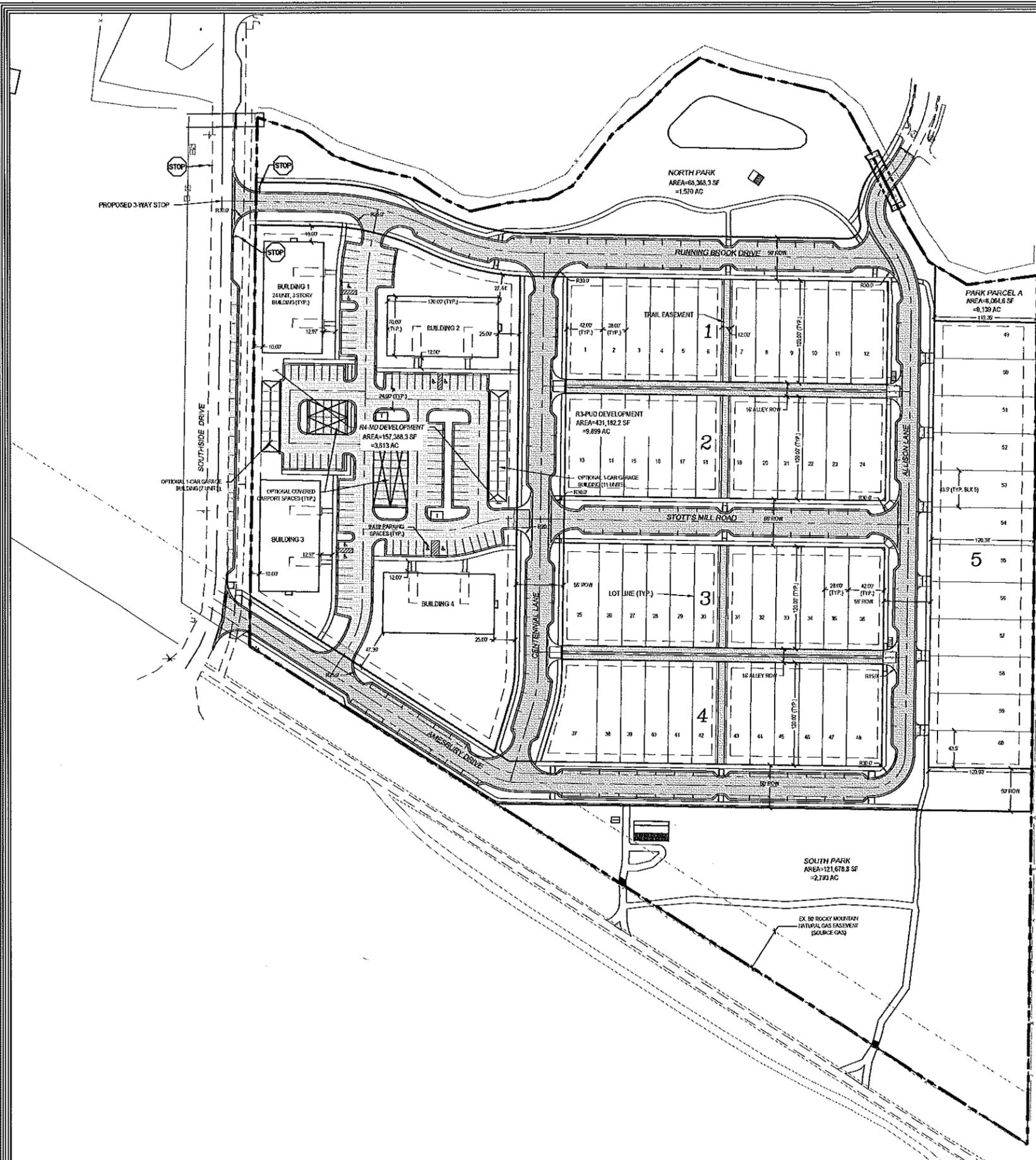


Fig. 12b: East Basalt Future Land Use



STOTT'S MILL DENSITY SUMMARY TABLE

STOTT'S MILL	DESCRIPTION	AREA (SF)	AREA (AC)	UNITS	UNIT TYPE	DENSITY (UNITS/ACRE)
PHASE 1	BLOCK 1	45,120	1.04	12	SINGLE FAMILY	11.59
	BLOCK 2	45,120	1.04	12	SINGLE FAMILY	11.59
	BLOCK 3	45,120	1.04	12	SINGLE FAMILY	11.59
	BLOCK 4	46,109	1.06	12	SINGLE FAMILY	11.34
	BLOCK 5	62,839	1.44	12	SF/DUPLEX	8.32
	ROW	186,874	4.29	N/A		
	TOTAL =	431,182	9.90	60		6.06
PHASE 1 PARKS	NORTH PARK	68,368	1.57		PASSIVE/UTILITIES	
	PARCELA	5,065	0.14		PASSIVE/UTILITIES	
	SOUTH PARK	121,679	2.79		ACTIVE	
PHASE 2	DESCRIPTION	AREA (SF)	AREA (AC)	UNITS	UNIT TYPE	DENSITY (UNITS/ACRE)
	MULTI FAMILY	157,388	3.61	96	APARTMENTS	26.57
TOTAL AREA =		784,683	18.01			

STOTT'S MILL PARKING TABLE

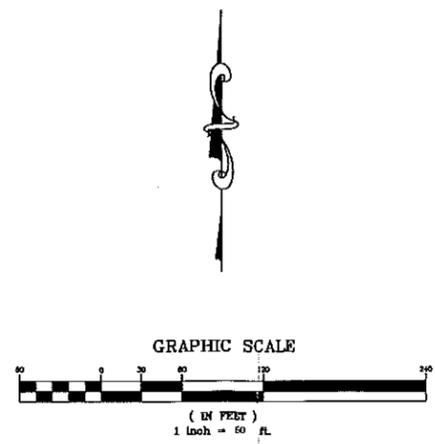
PHASE 1	UNITS	PARKING REQUIRED	PARKING PROVIDED		TOTAL	+/-
			LOT	STREET		
BLOCK 1	12	36	24	19	43	7
BLOCK 2	12	36	24	20	44	8
BLOCK 3	12	36	24	20	44	8
BLOCK 4	12	36	24	21	45	9
BLOCK 5	12	36	36	0	36	0
PH1 SUB TOTAL	60	180	132	80	212	32
PHASE 2	96	192	149	44	193	1
NORTH PARK	N/A	N/A	N/A	16	16	16
SOUTH PARK	N/A	N/A	N/A	23	23	23
TOTAL =	156	372	281	163	444	72

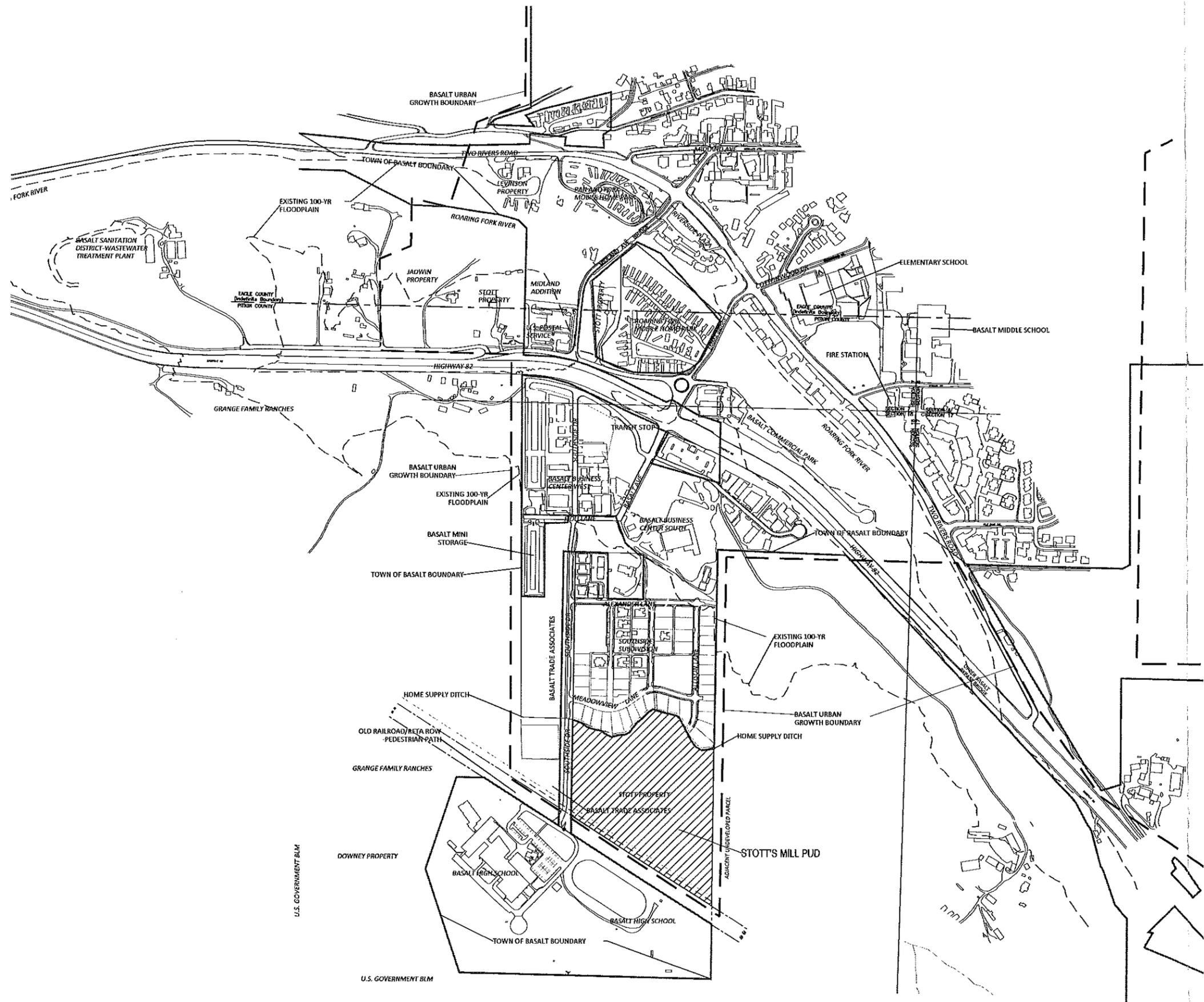
SOPRIS ENGINEERING, LLC.
CIVIL CONSULTANTS
502 MAIN STREET
CARONDALE, CO 81623
(970) 744-0311
FAX (970) 744-0313

NO.	REVISION	DATE	BY

STOTT'S MILL PUD
BASALT, COLORADO
SITE PLAN - LAND USE & PARKING TABLES
ANNEXATION SUBMITTAL

DATE:	01/18/2016
JOB NO.	15115
SHEET	C21





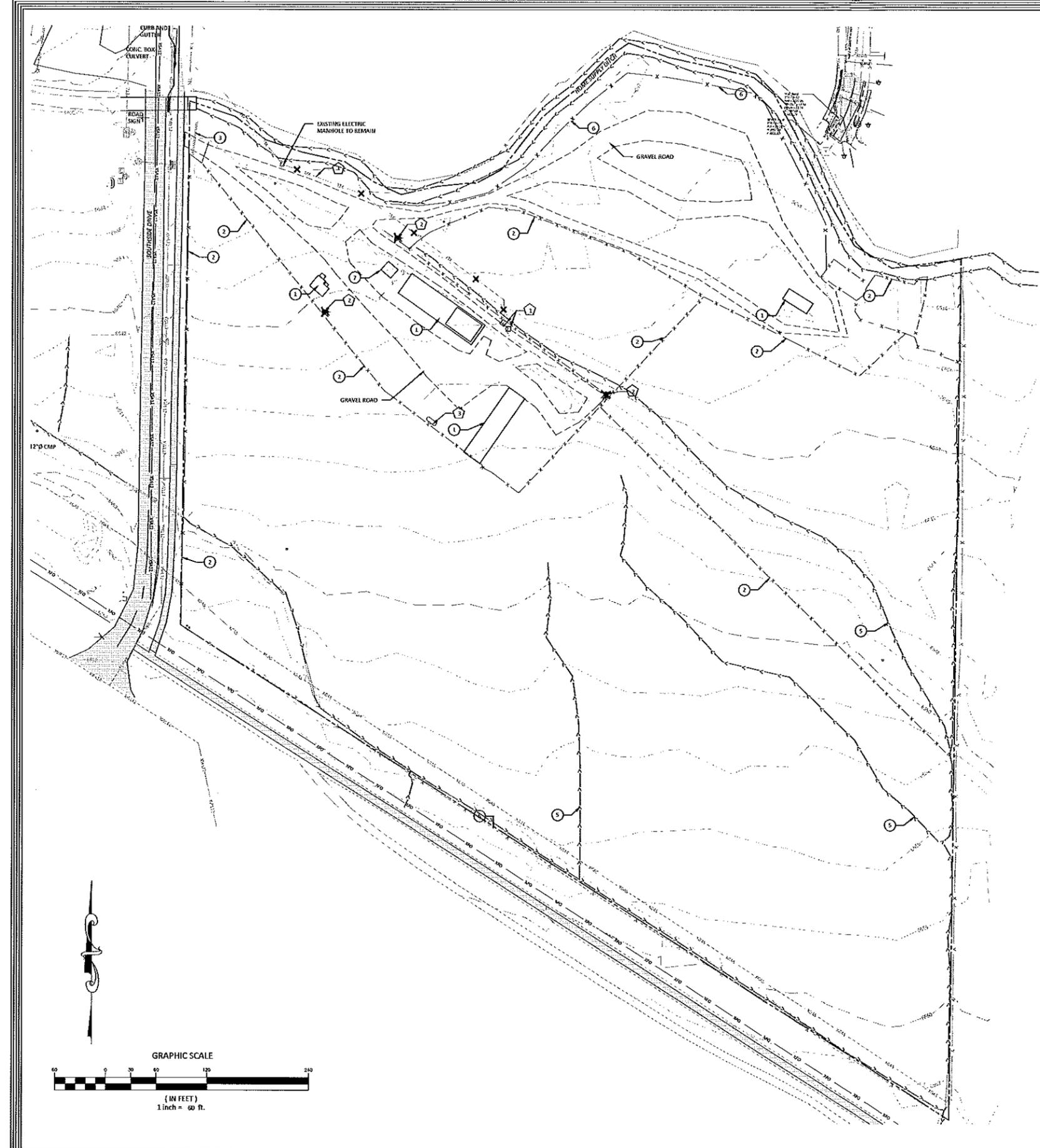
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SOPRIS ENGINEERING, LLC
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 502 MAIN STREET
 CARONDALE, CO 81623
 (970) 668-0000
 FAX (970) 668-0018

NO.	REVISION	BY	DATE

STOTT'S MILL PUD
BASALT, COLORADO
PRELIMINARY STREET SECTIONS
 ANNEXATION SUBMITTAL

DATE:	12/07/2015
JOB NO.	15115
SHEET	C2.2



GENERAL UTILITY NOTES:

- EXISTING CONDITIONS BASED UPON IMPROVEMENT SURVEY BY SOPRIS ENGINEERING LLC, DATED SEPT 2017.
- THE LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN PLOTTED BASED ON UTILITY MAPS, LOCATES OR OTHER INFORMATION PROVIDED BY UTILITY COMPANIES AND ACTUAL FIELD CONDITIONS IN SOME INSTANCES. THESE UTILITIES, AS SHOWN MAY NOT REPRESENT ACTUAL FIELD CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL UTILITY COMPANIES FOR FIELD LOCATION OF UTILITIES PRIOR TO CONSTRUCTION.
- ALL UTILITIES, BOTH UNDERGROUND AND OVERHEAD, SHALL BE MAINTAINED IN CONTRACTOR'S SERVICE THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY DAMAGES TO, OR INTERRUPTION OF, SERVICES CAUSED BY THE CONSTRUCTION.
- THE CONTRACTOR SHALL CONTAIN HIS CONSTRUCTION OPERATIONS TO THE SITE BOUNDARIES AND SPECIFIED RIGHT OF WAY. THE CONTRACTOR SHALL NOT OPERATE OUTSIDE THIS AREA WITHOUT THE PRIOR EXPRESSED CONSENT OF THE OWNER OR DEVELOPER REPRESENTATIVES.
- CONTRACTOR TO COORDINATE ALL UTILITY LINEWORK WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
- ALL UTILITY SERVICES SHALL REMAIN IN SERVICE TO OFFSITE USERS. A 48 HOUR NOTICE SHALL BE GIVEN PRIOR TO ANY TEMPORARY SHUT DOWN FOR UTILITY RELOCATION.

SITE UTILITY NOTES:

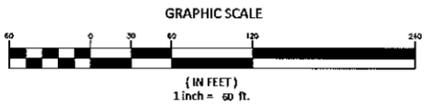
- EXISTING STRUCTURE TO BE REMOVED
- EXISTING FENCE TO BE REMOVED
- EXISTING CULVERT TO BE REMOVED
- SAFCUT AND REMOVE EXISTING ASPHALT. COORDINATE CONSTRUCTION TO MAINTAIN PEDESTRIAN AND VEHICULAR ACCESS.
- ABANDON EXISTING IRRIGATION DITCH
- EXISTING FENCE TO BE REMOVED AFTER LANDSCAPE FENCING AND PARK IMPROVEMENTS HAVE BEEN COMPLETED.
- EXISTING HISTORIC CABIN TO BE RELOCATED TO THE NORTH PARK. REFER TO LANDSCAPE PLANS FOR LOCATION AND DETAILS.

UTILITY ABANDONMENT NOTES:

- CONTRACTOR TO COORDINATE ABANDONMENT AND/OR RELOCATION OF THE EXISTING UNDERGROUND UTILITIES WITH THE UTILITY PROVIDER. THE UTILITY PROVIDER IS TO PERFORM ALL UTILITY LINEWORK NECESSARY. CONTRACTOR TO PROVIDE TRENCHING, BEDDING AND BACKFILL NECESSARY FOR LINEWORK.
- CONTRACTOR TO LOCATE THE EXISTING PRIVATE WATER SYSTEM ONSITE AND VERIFY SIZE AND LOCATION PRIOR TO CONSTRUCTION. CONTRACTOR TO PLUG AND ABANDON ALL PRIVATE WATER LINES ONSITE.
- CONTRACTOR TO COORDINATE ABANDONMENT OF THE EXISTING GAS WITH THE GAS PROVIDER. THE GAS COMPANY IS TO PERFORM ALL WORK NECESSARY FOR GAS ABANDONMENT.
- CONTRACTOR TO REROUTE THE EXISTING LATERAL IRRIGATION DITCH USING AN UNDERGROUND IRRIGATION SYSTEM. CONTRACTOR TO INSTALL 24" ADS DRAIN BASINS AND 18" ADS P12 PIPE (OR EQUIVALENT) WITH A FLARED END SECTION UPSTREAM AND TO JOIN TO THE EXISTING 18" DOWNSTREAM CULVERT. CONTRACTOR TO COORDINATE LINEWORK ADJACENT TO THE HIGH PRESSURE GAS LINE WITH THE GAS COMPANY. REFER TO IRRIGATION PLAN PROFILE SHEET C5.4 FOR DETAILS.

EXISTING LEGEND

- EXISTING CONTOUR
- EXISTING CONTOUR INTERVAL
- EXISTING 8" WATER MAIN
- EXISTING 8" SANITARY SEWER MAIN
- EXISTING ELEC. TELE. CABLE, GAS
- EXISTING GAS
- EXISTING TELEPHONE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING CABLE
- EXISTING FIBER OPTIC
- EXISTING IRRIGATION PIPE
- EXISTING SWALE OR DITCH
- EXISTING STORM SEWER
- EXISTING EASEMENT
- EXISTING PROPERTY LINE
- EXISTING SETBACK FOOT
- EXISTING ZONE OF INFLUENCE
- EXISTING TOP OF SLOPE
- EXISTING WIRE FENCE
- EXISTING ROCK WALL
- EXISTING ELECTRIC MANHOLE
- EXISTING DRAINAGE DRY-WELL
- EXISTING SEWER MANHOLE
- EXISTING TELEPHONE MANHOLE
- EXISTING UTILITY MANHOLE
- EXISTING GUY WIRE
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING CURB STOP
- EXISTING GAS METER
- EXISTING ELECTRIC TRANSFORMER
- EXISTING ELECTRIC METER
- EXISTING TELEPHONE PEDESTAL
- EXISTING CATV PEDESTAL
- EXISTING SEWER CLEANOUT
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING STORM INLET



Know what's below.
Call before you dig.
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR DEMOLISH
FOR THE SAFETY OF YOUR COMMUNITY.
MEMBER UTILITIES

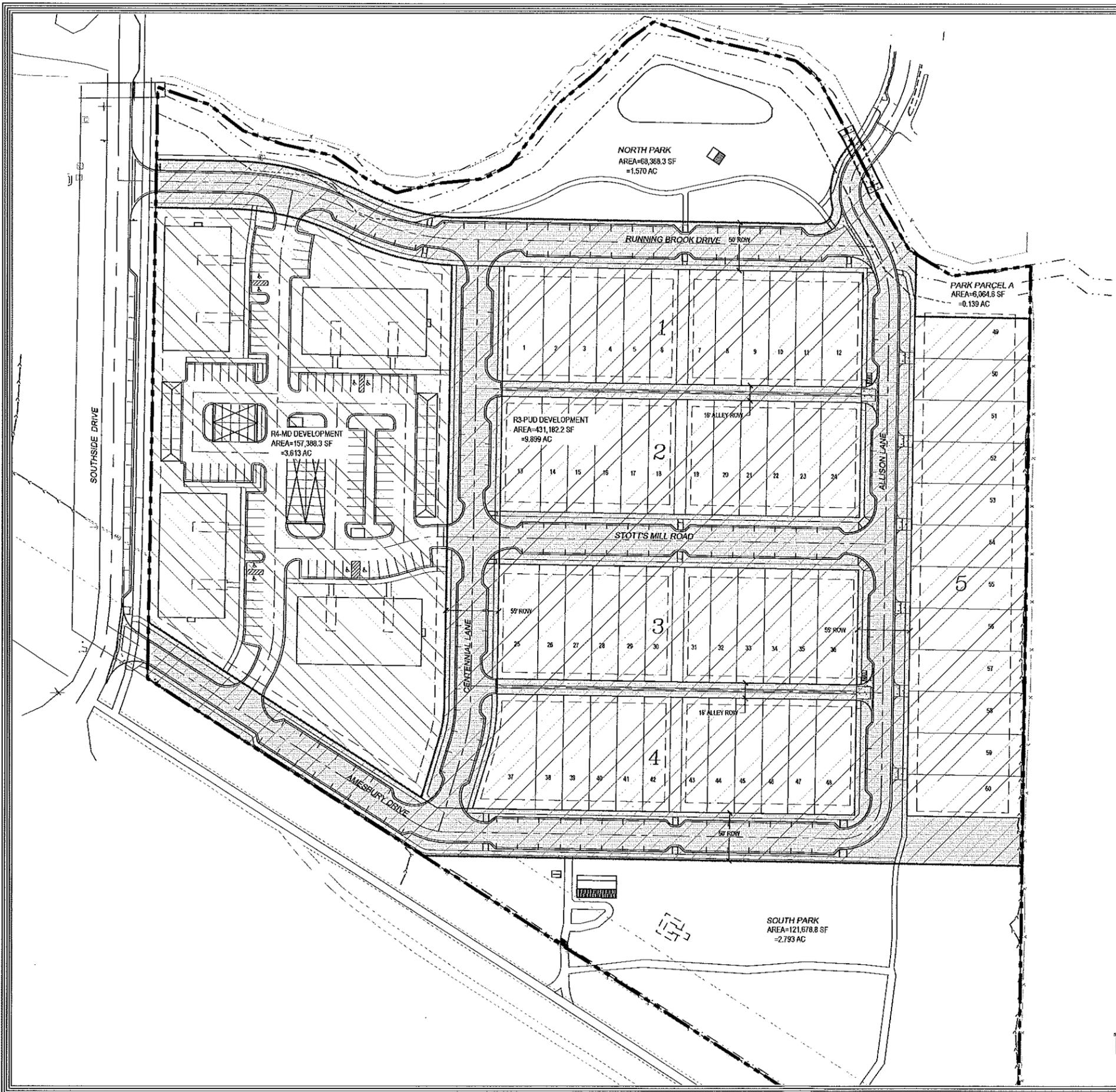
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DESIGNED BY	
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CHECKED BY	

SOPRIS ENGINEERING, LLC.
CIVIL CONSULTANTS
502 MAIN STREET
CARBONDALE, CO 81623
FAX: (970) 704-0313

NO.	REVISION	BY	DATE

STOTT'S MILL PUD
BASALT, COLORADO
EXISTING CONDITION / SITE DEMOLITION PLAN
ANNEXATION SUBMITTAL

DATE:	12-07-2015
JOB NO.:	15115
SHEET:	C1.2

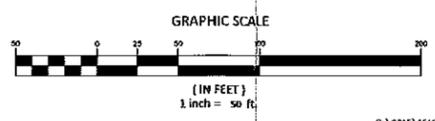


ZONE DISTRICT LEGEND

- R3-PUD ZONE DISTRICT
- R4-MD ZONE DISTRICT
- P ZONE DISTRICT (NO HATCH)

ROW AREA

- RIGHT-OF-WAY AREA
=106,873.5 SF
=2.426 AC.



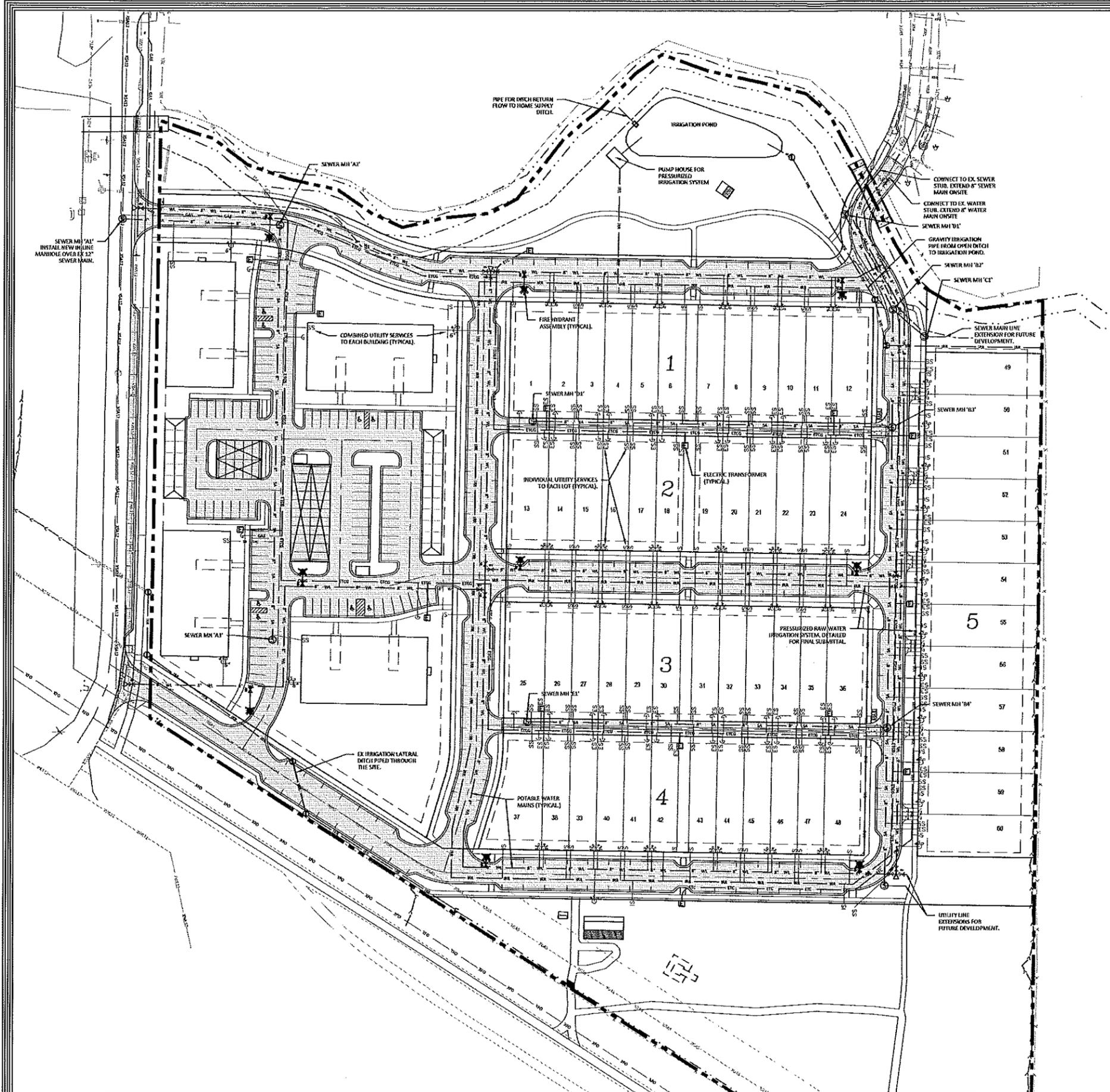
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 (970) 704-0311
 FAX: (970) 704-6313

NO.	REVISION	BY	DATE

STOTT'S MILL PUD
BASALT, COLORADO
ZONE DISTRICT MAP
 ANNEXATION SUBMITTAL

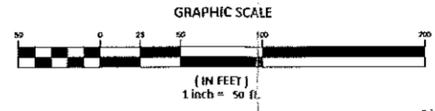
DATE: 12/04/2015
 JOB NO. 15115
 SHEET C2.2



- UTILITY NOTES:**
1. THE LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN PLOTTED BASED ON UTILITY MAPS, CONSTRUCTION/DESIGN PLANS, OTHER INFORMATION PROVIDED BY UTILITY COMPANIES AND ACTUAL FIELD LOCATIONS IN SOME INSTANCES. THESE UTILITIES, AS SHOWN, MAY NOT REPRESENT ACTUAL FIELD CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL UTILITY COMPANIES FOR FIELD LOCATION OF UTILITIES PRIOR TO CONSTRUCTION.
 2. SHALLOW UTILITY LAYOUTS MUST BE COORDINATED WITH THE UTILITY PROVIDER. THE UTILITY PROVIDER IS TO PERFORM ALL UTILITY LAYOUTS NECESSARY. CONTRACTOR TO PROVIDE ALL TRENCHING, BEDDING AND BACKFILL NECESSARY FOR LAYOUTS.
 3. THE SITE WILL HAVE A PRESSURIZED IRRIGATION SYSTEM THAT UTILIZES WATER FROM THE LATERAL DITCH ON THE EAST PROPERTY LINE. THE IRRIGATION SYSTEM WILL BE DESIGNED FOR FINAL SUBMITTAL.

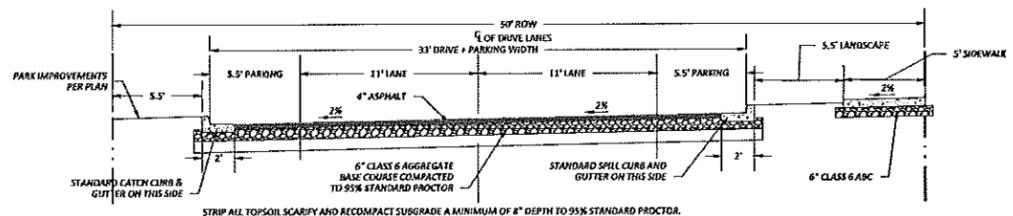
- PROPOSED LEGEND**
- 8" — PROPOSED 8" WATER MAIN
 - 12" — PROPOSED 12" WATER MAIN
 - 8" — PROPOSED 8" SANITARY SEWER MAIN
 - 12" — PROPOSED 12" SANITARY SEWER MAIN
 - — PROPOSED ELEC, TELE, CABLE, GAS
 - — PROPOSED GAS
 - — PROPOSED TELEPHONE
 - — PROPOSED UNDERGROUND ELECTRIC
 - — PROPOSED CABLE
 - — PROPOSED FIBER OPTIC
 - — PROPOSED IRRIGATION PIPE
 - — PROPOSED SWALE OR DITCH
 - — PROPOSED STORM SEWER
 - ⊙ — PROPOSED ELECTRIC MANHOLE
 - ⊙ — PROPOSED DRAINAGE DRY-WELL
 - ⊙ — PROPOSED SEWER MANHOLE
 - ⊙ — PROPOSED TELEPHONE MANHOLE
 - ⊙ — PROPOSED UTILITY MANHOLE
 - ⊙ — PROPOSED FIRE HYDRANT
 - ⊙ — PROPOSED WATER VALVE
 - ⊙ — PROPOSED CURB STOP
 - ⊙ — PROPOSED GAS METER/VALVE
 - ⊙ — PROPOSED ELECTRIC TRANSFORMER
 - ⊙ — PROPOSED ELECTRIC METER
 - ⊙ — PROPOSED TELEPHONE PEDESTAL
 - ⊙ — PROPOSED CATV PEDESTAL
 - ⊙ — PROPOSED SEWER CLEANOUT
 - ⊙ — PROPOSED LIGHT POLE
 - ⊙ — PROPOSED SIGN
 - ⊙ — PROPOSED STORM INLET

- EXISTING LEGEND**
- — — — — EXISTING PROPERTY LINE
 - — — — — EXISTING EASEMENT
 - 8" — EXISTING 8" WATER MAIN
 - 12" — EXISTING 12" WATER MAIN
 - 8" — EXISTING 8" SANITARY SEWER MAIN
 - 12" — EXISTING 12" SANITARY SEWER MAIN
 - — EXISTING ELEC, TELE, CABLE, GAS
 - — EXISTING ELEC, TELE, CABLE
 - — EXISTING GAS
 - — EXISTING TELEPHONE
 - — EXISTING UNDERGROUND ELECTRIC
 - — EXISTING OVERHEAD ELECTRIC
 - — EXISTING CABLE
 - — EXISTING FIBER OPTIC
 - — EXISTING IRRIGATION PIPE
 - — EXISTING SWALE OR DITCH
 - — EXISTING STORM SEWER
 - ⊙ — EXISTING WIRE FENCE
 - ⊙ — EXISTING ROCK WALL
 - ⊙ — EXISTING ELECTRIC MANHOLE
 - ⊙ — EXISTING DRAINAGE DRY-WELL
 - ⊙ — EXISTING SEWER MANHOLE
 - ⊙ — EXISTING TELEPHONE MANHOLE
 - ⊙ — EXISTING UTILITY MANHOLE
 - ⊙ — EXISTING CATV MISC
 - ⊙ — EXISTING POWER POLE
 - ⊙ — EXISTING FIRE HYDRANT
 - ⊙ — EXISTING WATER VALVE
 - ⊙ — EXISTING CURB STOP
 - ⊙ — EXISTING GAS METER
 - ⊙ — EXISTING ELECTRIC TRANSFORMER
 - ⊙ — EXISTING ELECTRIC METER
 - ⊙ — EXISTING TELEPHONE PEDESTAL
 - ⊙ — EXISTING CATV PEDESTAL
 - ⊙ — EXISTING SEWER CLEANOUT
 - ⊙ — EXISTING LIGHT POLE
 - ⊙ — EXISTING SIGN
 - ⊙ — EXISTING STORM INLET

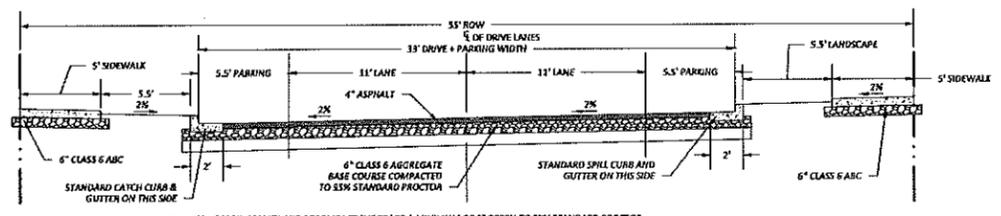


Know what's below.
Call before you dig.
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU OIL, GRAZE, OR EXCAVATE
FOR THE SAFETY OF UNDERGROUND
MEMBER UTILITIES

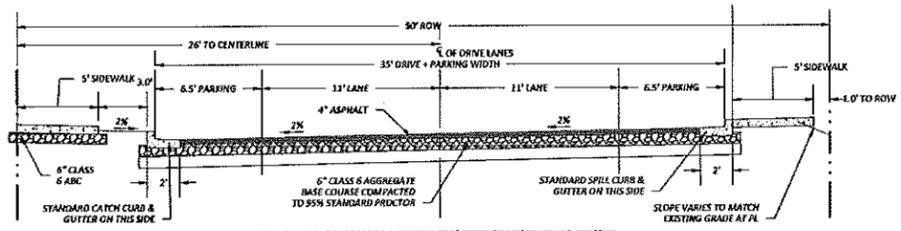
DESIGNED BY		DATE	
DRAWN BY		DATE	
CHECKED BY		DATE	
SOPRIS ENGINEERING, LLC. CIVIL CONSULTANTS 522 MAIN STREET CARBONDALE, CO 81623 (970) 704-0311 FAX (970) 704-0313			
NO.	REVISION	BY	DATE
STOTT'S MILL PUD BASALT, COLORADO UTILITY PLAN ANNEXATION SUBMITTAL			
DATE:	1/13/2015	JOB NO. 15115	
SHEET	C5.1		



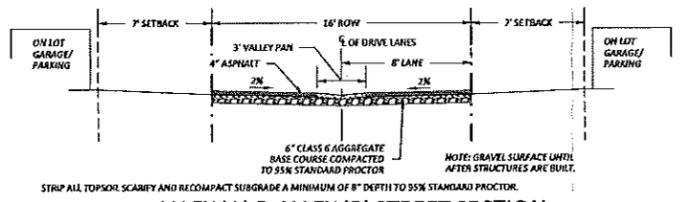
RUNNING BROOK DRIVE STREET SECTION
LOOKING EAST
N.T.S.



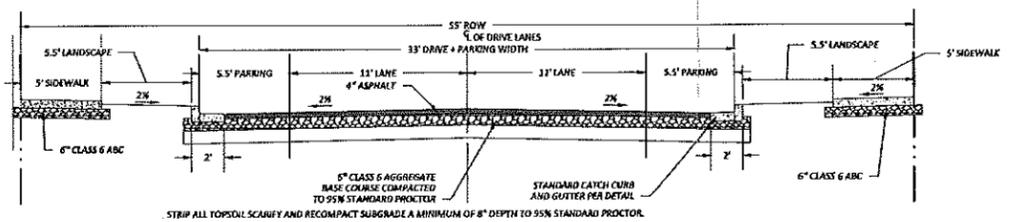
STOTT'S MILL ROAD STREET SECTION
LOOKING EAST
N.T.S.



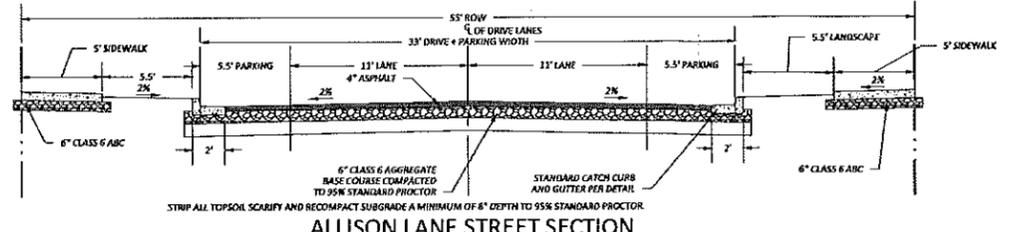
AMESBURY DRIVE STREET SECTION
LOOKING EAST
N.T.S.



ALLEY 'A' & ALLEY 'B' STREET SECTION
LOOKING EAST
N.T.S.

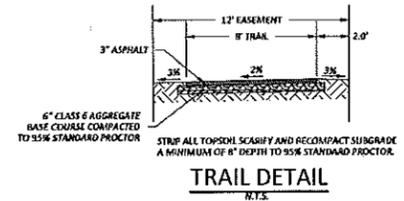


CENTENNIAL LANE STREET SECTION
LOOKING NORTH
N.T.S.



ALLISON LANE STREET SECTION
LOOKING NORTH
N.T.S.

NOTE: REFER TO PAVEMENT SECTION, CURB & GUTTER DETAIL, AND SIDEWALK DETAIL FOR CONSTRUCTION INFORMATION.



TRAIL DETAIL
N.T.S.

DESIGNED BY	DATE
DRAWN BY	
CHECKED BY	

SOPRIS ENGINEERING, LLC.
CIVIL CONSULTANTS
502 MAIN STREET
CARBONDALE, CO 81623
(970) 704-0311
FAX: (970) 704-0313

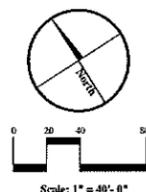
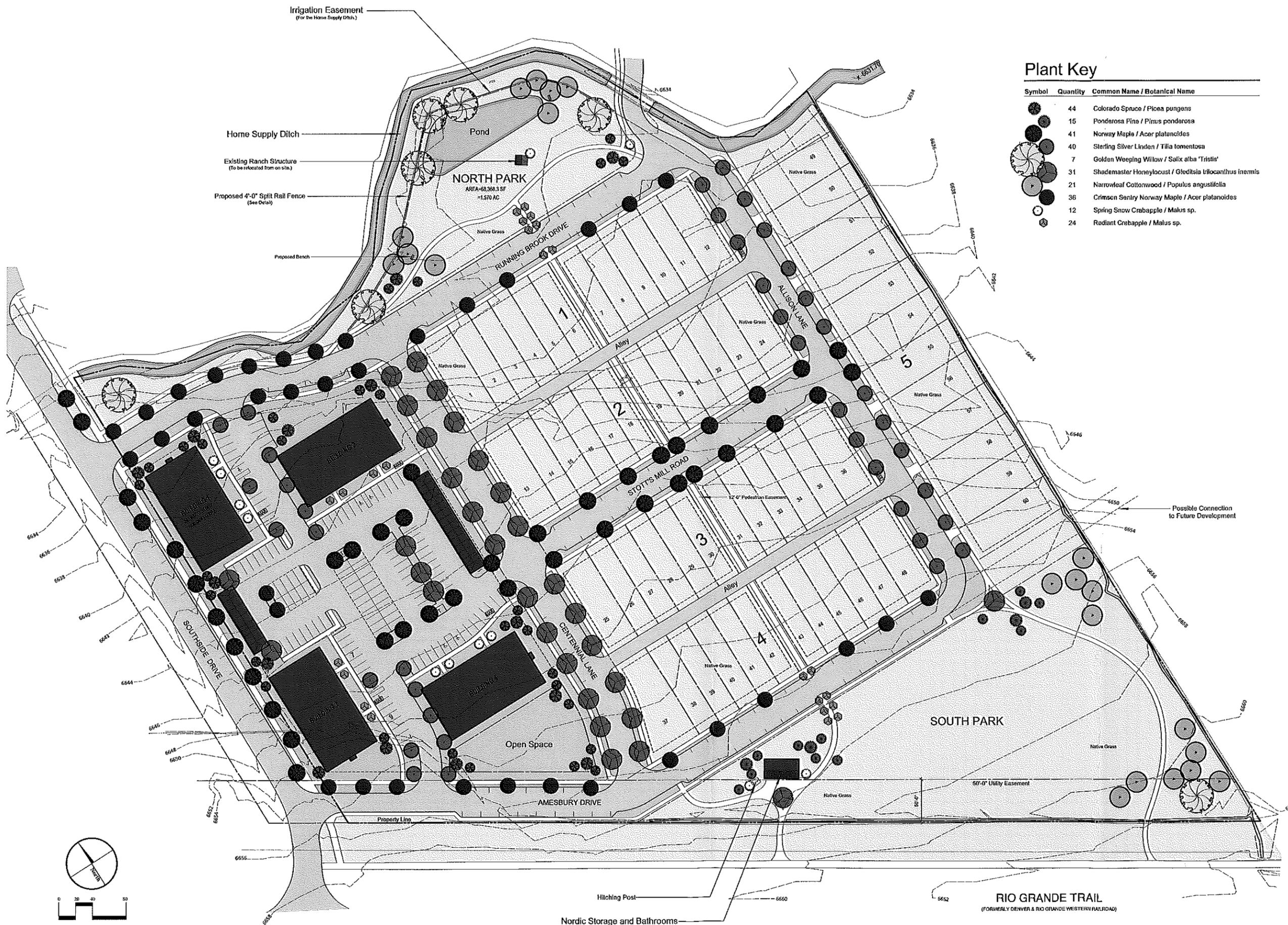
NO.	REVISION	BY	DATE

STOTT'S MILL PUD
BASALT, COLORADO
PRELIMINARY STREET SECTIONS
ANNEXATION SUBMITTAL

DATE:	01/16/2018
JOB NO.	15115
SHEET	C8.5

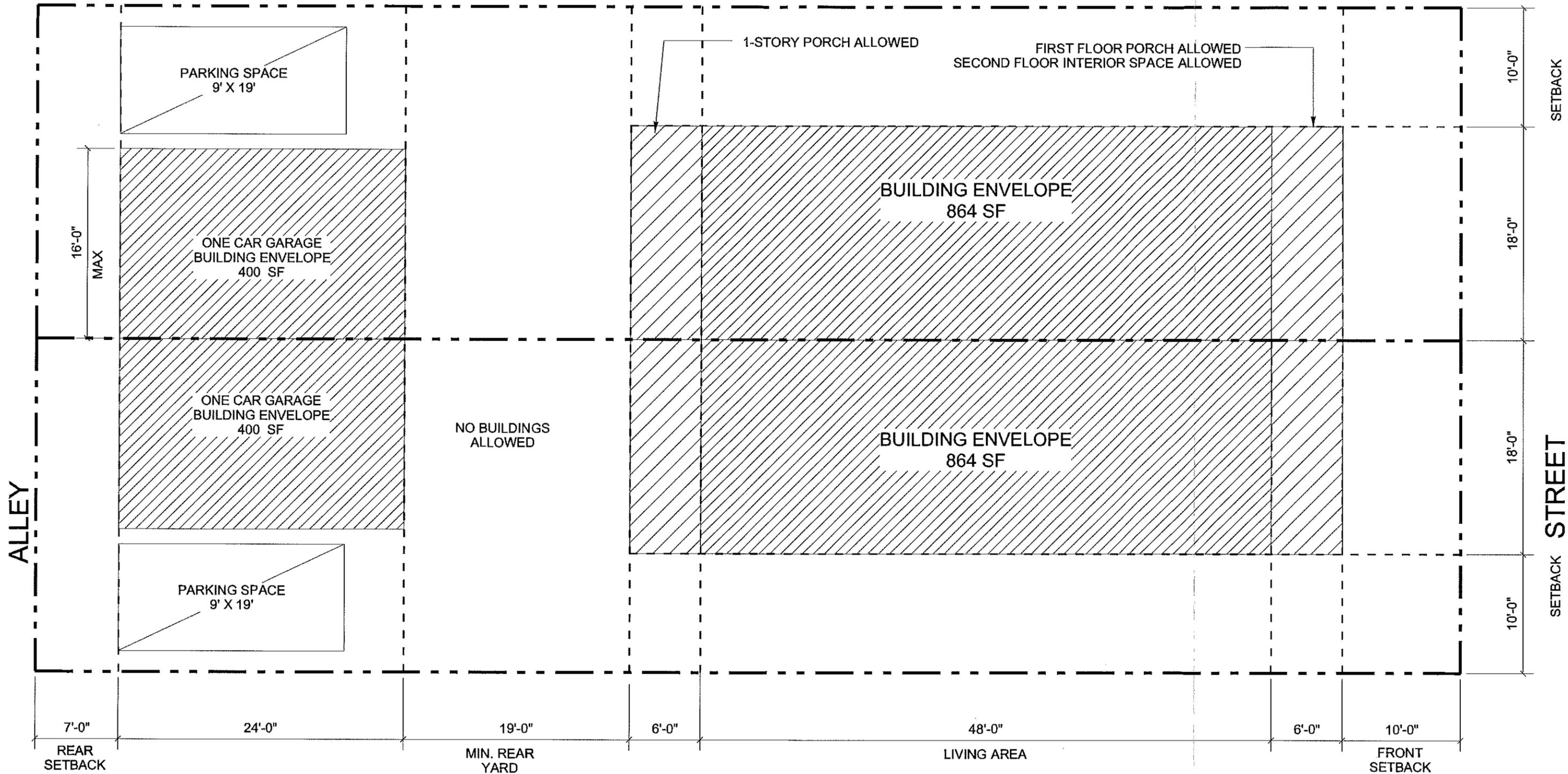
Plant Key

Symbol	Quantity	Common Name / Botanical Name
	44	Colorado Spruce / <i>Picea pungens</i>
	15	Ponderosa Pine / <i>Pinus ponderosa</i>
	41	Norway Maple / <i>Acer platanoides</i>
	40	Sterling Silver Linden / <i>Tilia tomentosa</i>
	7	Golden Weeping Willow / <i>Salix alba 'Tristis'</i>
	31	Shademaster Honeylocust / <i>Gleditsia trilobocanthus inermis</i>
	21	Narrowleaf Cottonwood / <i>Populus angustifolia</i>
	36	Crimson Sentry Norway Maple / <i>Acer platanoides</i>
	12	Spring Snow Crabapple / <i>Malus sp.</i>
	24	Radiant Crabapple / <i>Malus sp.</i>



Conceptual Landscape Plan
Stott's Mill P.U.D.
 Basalt, Colorado

Date: January 21, 2016
 Revised:



**SITE LAYOUT & SETBACKS
DUPLEX DWELLING UNITS**

1/8" = 1'=0"

A4

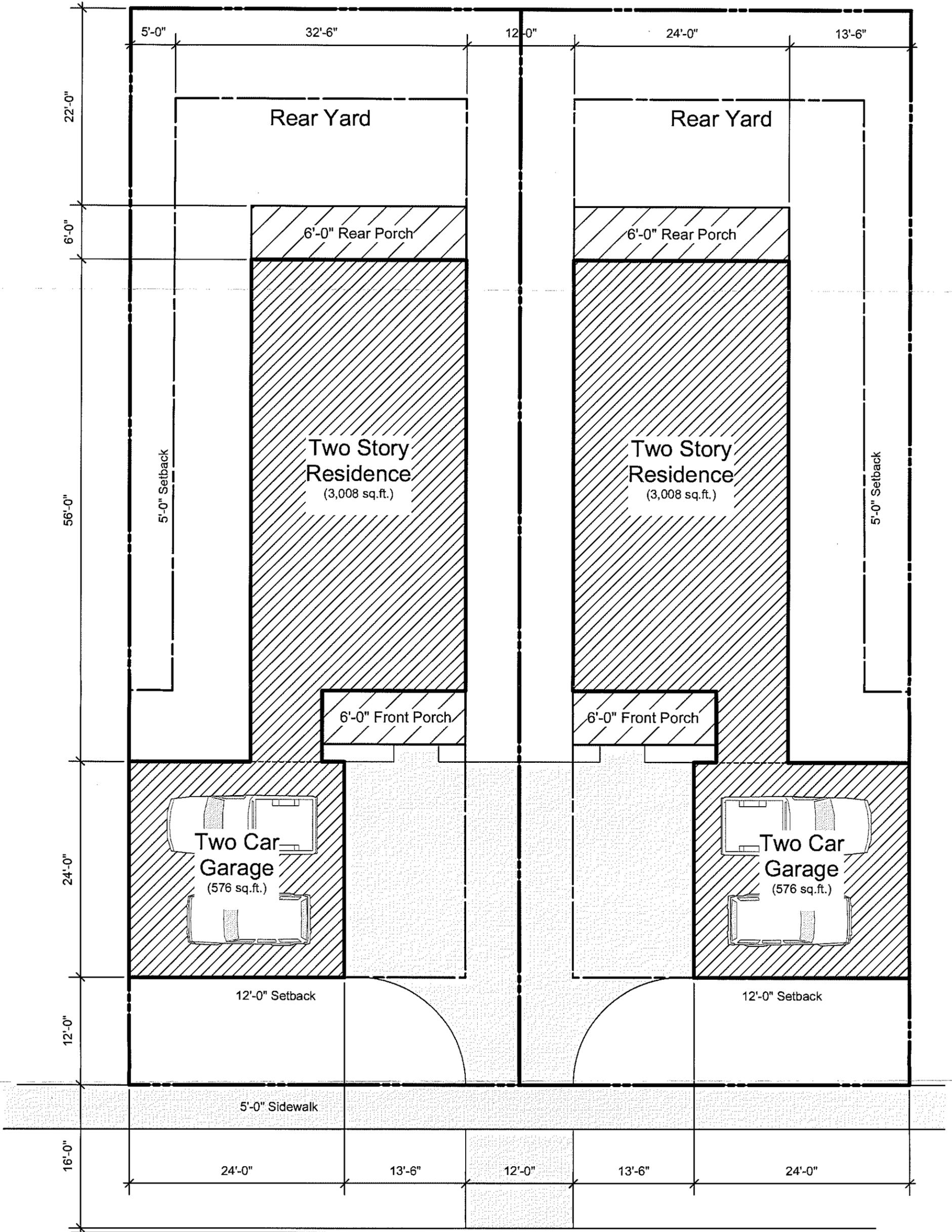
A4 ARCHITECTS LLC
100 North Third Street
Carbondale, Colorado 81623
970.963.6760
970.963.6761 Fax

SK 003

PROJECT: STOTT'S MILL

DATE: 12.6.05
REV: 6.6.06

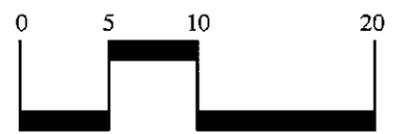
Open Space



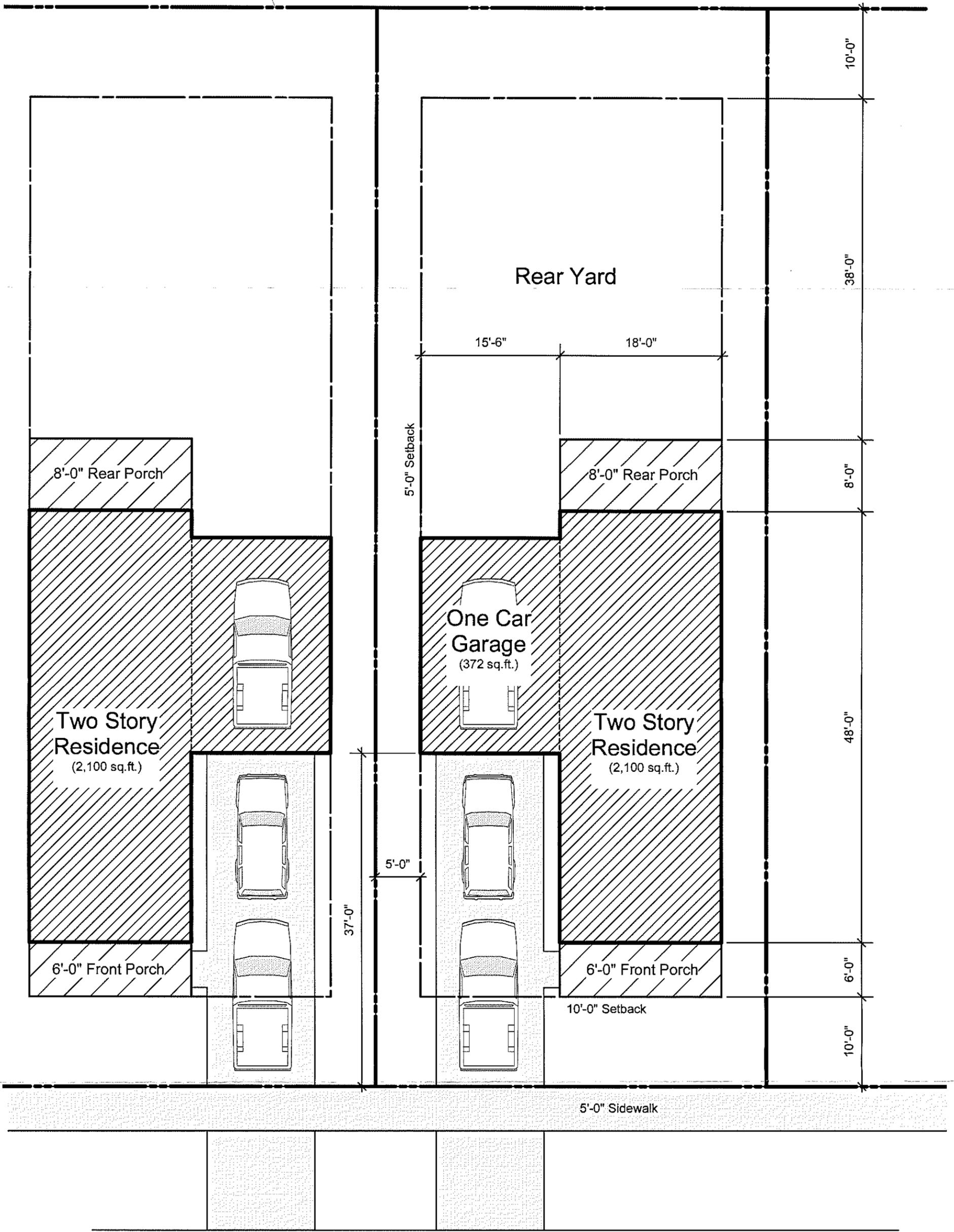
Allison Lane

Scheme "B" - Two Car Garage Plan
Stott's Mill - Block 5 Site Layout

Scale: 1" = 10'-0"



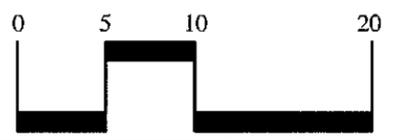
Open Space

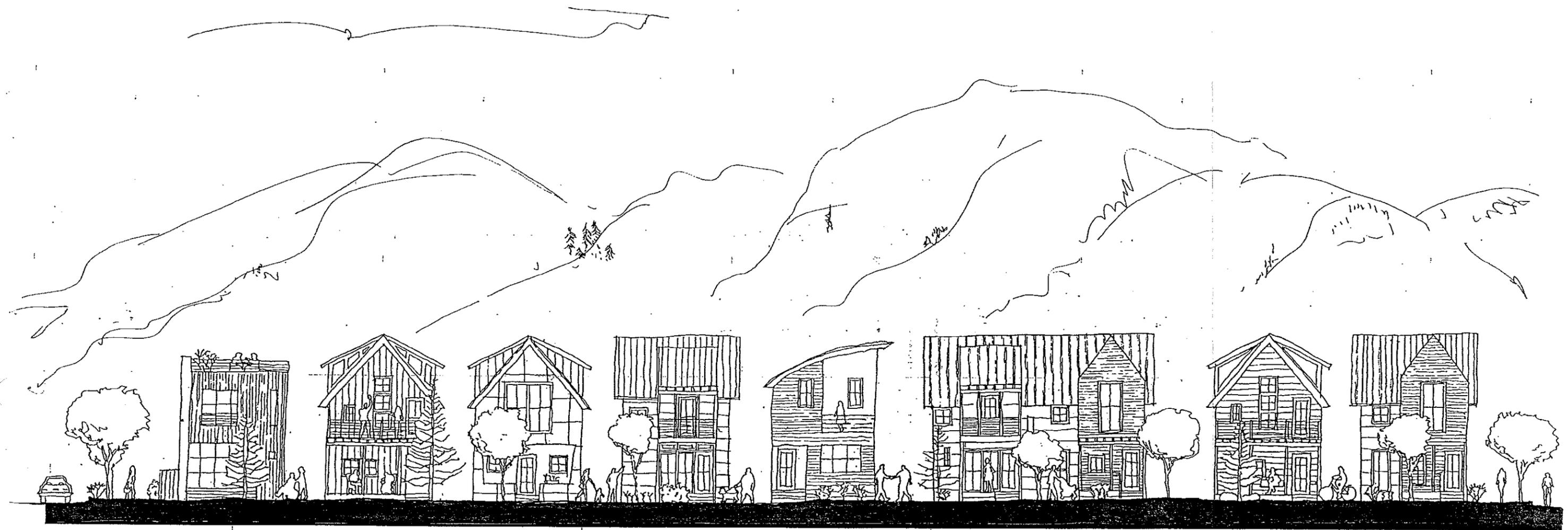


Allison Lane

Scheme "A" - One Car Garage Plan
Stott's Mill - Block 5 Site Layout

Scale: 1" = 10'-0"





single family

single family

single family

single family

single family

duplex or double lot

single family

single family

Stott's Mill
basalt, colorado

black shack office
po box 1847
basalt, colorado 81621
970 927 0635 v • 970 927 0654 f

typical street elevation





single family
(garage elevation)

single family
(garage elevation)

duplex or double lot
(garage elevation)

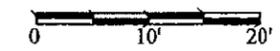
single family
(garage elevation)

trash
area
(typ)

Stott's Mill
basalt, colorado

black shack office
po box 1847
basalt, colorado 81621
970 927 0635 v • 970 927 0654 f

typical alley elevation





24 PLEX

PERSPECTIVE VIEW

SECTION 4
MISCELLANEOUS DOCUMENTS

Strike through version/responses to Previous Approval (Ordinance No. 18 – 2009)
List of Property Owners within 300 ft.
Title Commitment (updated linked, title commitment submitted electronically)
Engineering letter on drainage

TOWN OF BASALT, COLORADO
ORDINANCE NO. 18
SERIES OF 2009

AN ORDINANCE EXTENDING AND INCREASING THE CORPORATE LIMITS OF THE TOWN OF BASALT, COUNTY OF PITKIN, STATE OF COLORADO FOR STOTT'S MILL DEVELOPMENT PURSUANT TO THE PROVISIONS OF THE COLORADO MUNICIPAL ANNEXATION ACT BY ANNEXING TO THE TOWN OF BASALT A TRACT OF LAND CONTIGUOUS TO AND NOT EMBRACED WITHIN THE PRESENT LIMITS OF THE TOWN OF BASALT KNOWN AS STOTT'S MILL, GRANTING APPROVAL FOR INITIAL ZONING OF THE PROPERTY KNOWN AS STOTT'S MILL TO R-3 PUD, R-3 TN PUD, R-4 PUD, AND THE P ZONE DISTRICT, AND APPROVING A FINAL SUBDIVISION/PLANNED UNIT DEVELOPMENT, SPECIAL REVIEW, AND SITE PLAN REVIEW TO CONSTRUCT 110 RESIDENTIAL DWELLING UNITS, A PUBLIC FACILITY, AND THE DEDICATION AND IMPROVEMENT OF RIGHTS-OF-WAY AND PARKS ON THE STOTT'S MILL PROPERTY

RECITALS:

comment: recital paragraphs A through F will have to be replace depending on submittal and approval dates, resolution #'s, etc

A. On or about October 21, 2005, a Petition for Annexation (the "Petition") and an Annexation Map were filed with the Town of Basalt by MSP 1 LLC. ("Applicant") on behalf of ~~Lorrie~~ and Alice Stott, owners ("Petitioner") of 100% of the land area described in the Petition and known as Stott's Mill. The legal description of the Property is attached hereto and incorporated herein by this reference as **Exhibit A** (the "Property").

B. In conjunction with filing a petition for annexation, a land use application for sketch plan subdivision, planned unit development, zoning, and special review was filed with the Town of Basalt. Said application was subsequently revised through the Preliminary Plan review process.

C. The Town Council approved the sketch plan application pursuant to Resolution No. 8, Series of 2007 and approved the Preliminary Plan application pursuant to Resolution No. 12, Series of 2008.

D. The Planning and Zoning Commission considered the Final Plan, rezoning, and annexation application at a public meeting beginning on June 16, 2009,

Please return to:
TOWN OF BASALT
101 Midland Avenue
Basalt, CO 81621

and continuing through August 4, 2009. Throughout the meetings, evidence and testimony was offered by the Applicant, Staff and members of the public. The Planning and Zoning Commission recommended that Town Council approve the Final Plan and annexation with conditions on August 4, 2009. Said application was subsequently revised throughout the Final Plan application review.

E. At a public hearing held on September 22, 2009, and continued to October 27, 2009, the Town Council considered the final plan application and annexation of the Property on first reading and scheduled a public hearing and second reading for the ordinance for November 10, 2009, and continued through January 12, 2010.

F. At a continued public hearing and second reading on January 12, 2010, the Town Council heard evidence and testimony as offered by the Town Staff and members of the public.

G. The Town Council finds and determines it is in the best interests of the Town to annex the Property as provided herein and to approve the Stott's Mill Final Subdivision and PUD Plan, and Special Review application. The Town Council finds and determines the annexation of the Property and approval of this ordinance is reasonably necessary to promote the legitimate public purposes of the public health, safety and welfare.

H. The Town Council finds that the Property is eligible for annexation in accordance with the Municipal Annexation Act and including the following findings:

1. The applicable requirements of §§ 31-12-104 and 31-12-105, C.R.S., have been met and satisfied including the following:

a. Not less than one-sixth of the perimeter of the Property is contiguous to the Town of Basalt, Colorado;

b. A community of interest exists between the Property and the Town of Basalt, Colorado;

c. The Property is urban in character or will be urbanized in the near future;

d. The area proposed for annexation is integrated with or capable of being integrated with the Town;

e. In establishing the boundaries of the area proposed for annexation, no land held in identical ownership whether consisting of one tract or parcel

of real estate or two or more contiguous tracts or parcels of real estate has been divided into separate tracts or parcels.

f. No tract or parcel of real estate comprising twenty (20) acres or more with an assessed valuation including buildings and improvements in excess of two hundred thousand dollars (\$200,000.00) for ad valorem taxes for the previous year has been included within the area proposed for annexation without the written consent of the land owner; and

g. The proposed annexation will not have the effect of extending a municipal boundary more than three miles in any direction from any point of the current municipal boundary except with respect to a parcel of property held in identical ownership at least 50% of which is within the three mile limit.

2. The Petition has been signed by the owners of more than 50% of the Property.

3. No additional terms or conditions with regard to the requested annexation are imposed except pursuant to an annexation agreement approved and agreed to by 100% of the owners.

4. An annexation election is not required and the Town is authorized pursuant to § 31-12-111, C.R.S., to annex the area described in the Petition by Ordinance.

5. Pursuant to Sections 31-12-108 & 31-12-109, C.R.S., notice and hearings were conducted. On January 24, 2006, the Town Council adopted Resolution No. 2, Series of 2006, finding the Petition for Annexation in substantial compliance with the requirements of the Municipal Annexation Act. On March 14, 2006, the Town Council adopted Resolution No. 5, Series of 2006, finding the Property eligible for annexation. On August 4, 2009, the Planning and Zoning Commission recommended approval of the Stott's Mill Annexation, Final Subdivision and PUD Plan, and Special Review application.

Comment: Submittal and resolution numbers will have to be updated.

6. The property subject to the application is located completely within the Town's Urban Growth Boundary established in the 2007 Basalt Master Plan.

NOW, THEREFORE, BE IT ORDAINED by the Town Council of the Town of Basalt:

1. The Town Council incorporates the recitals and all exhibits as references, findings of fact, determinations, and conclusively makes all of the findings of fact, determinations and conclusions contained herein.

2. The Property described in the Petition and described on **Exhibit A** attached hereto is hereby annexed to and made a part of the Town of Basalt, Colorado; the Annexation Map of the Property and including other tracts annexed simultaneously herewith is approved; and the Mayor and Town Clerk are authorized to execute the Annexation Map.

3. The annexation of the Property is expressly conditioned on the execution and recording of the Annexation Agreement between the Town and MSP 1 LLC, a copy of which is available at Basalt Town Hall and reviewed at the public hearings conducted by the Town Council. If the Annexation Agreement shall not be executed and recorded within 180 days of the effective date hereof, this Ordinance shall be void and of no further effect and the Property shall not be annexed. The Annexation Agreement is incorporated herein by reference and is hereby approved with such reasonable changes and modifications as are not inconsistent herewith and as are expressly approved by the Town Planner and the Town Attorney to effectuate the intentions of the parties or to comply with applicable law. The Mayor or Mayor Pro Tem of the Town are hereby authorized and directed to execute, and the Town Clerk or any deputy Town Clerk are authorized to authenticate and affix the seal of the Town to the Annexation Agreement, and the Town Manager is further authorized to execute and authenticate such other documents, instruments or certificates as are deemed necessary or desirable in connection therewith. The execution of any instrument by said officials shall be conclusive evidence of the approval by the Town of such instrument in accordance with the terms of such instrument and this Ordinance.

4. The Town Clerk of the Town of Basalt, Colorado, on behalf of the Town shall comply with the filing and recording requirements of Section 31-12-113, C.R.S.

5. The Project is rezoned as follows and the Final Subdivision/PUD Plan, Special Review, and Site Plan Review is hereby approved subject to the conditions set forth in **Exhibits B-K** attached hereto:

- a. R-3 with a PUD overlay shall apply to all of the lots in Blocks 6 and 11.
- b. R-3 TN with a PUD overlay shall apply to all of the lots in Blocks 1, 2, 3, 4, and 5, 7, 8, 10, and Lots 2-7 of Block 9.
- e.c. R-4 MD Zone District with a PUD overlay shall apply for Phase 2, (lots #'s not specified at this time). An R-4 PUD overlay shall be considered for phase 2 as part of the development review process, but straight zoning is preferred, to all of the

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~~lots in Blocks 1A, 1B, 1C, and that portion of Lot 1, Block 9 that is not developed for the 3,300 square foot daycare facility and associated outdoor play area.~~

d. d. P Public Zone District with a site plan approval shall apply to that portion of the first floor of the building to be constructed on Lot 1, Block 9 and dedicated as a 3,300 square foot public facility and associated outdoor play area and to the two public parks. Comment: the P Zone District acceptable if daycare facility is part of the approved Final Plan.

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6. An approval packet comprised of the Stott's Mill Annexation Agreement; this Ordinance No. 18, Series of 2009; the Stott's Mill Master Subdivision Improvements Agreement, a copy of the Final Plat for Stott's Mill; and each of the documents approved by this Ordinance and Exhibits thereto shall be assembled by the Applicant, reviewed for completeness by the Town Planner and when determined complete, shall be noted as such in writing by the Applicant and the Town Planner and labeled "Final Development Approval", which shall be available for review at the office of the Town and is incorporated herein by this reference as if set forth in full. The Applicant shall comply in all respects with the Final Development Approval.

7. The Official Zoning Map for the Town shall be and is hereby amended to show the zoning designation of the Property as described herein.

8. The approvals and conditions contained herein shall be binding on and inure to the benefit of the heirs, successors and assigns of the Applicant and the owners of the Property.

9. This Ordinance, after fully executed, shall be recorded in the office of the County Clerk and Recorder.

10. If any part, section, subsection, sentence, clause or phrase of this Ordinance is for any reason held to be invalid, such decision shall not affect the validity of the remaining portions of this Ordinance and the Town Council hereby declares it would have passed this Ordinance and each part, section, subsection, sentence, clause or phrase thereof regardless of the fact that any one or more parts, sections, subsections, sentences, clauses or phrases be declared invalid.

READ ON FIRST READING, ORDERED PUBLISHED AND SET FOR PUBLIC HEARING TO BE HELD ON TUESDAY, November 10, 2009, by a vote of 6 to 0 on October 27, 2009. The public hearing and second reading was continued through January 12, 2010.

READ ON SECOND READING AND ADOPTED, by a vote of 5 to 0 on January 12, 2010.

TOWN OF BASALT, COLORADO

By: _____
Leroy Duroux, Mayor

ATTEST:

By: _____
Pamela K. Schilling, Town Clerk

Ord18-AnnexStottsMill.doc

First Publication: Thursday, November 5, 2009
Final Publication: Thursday, January 21, 2010
Effective date: Thursday, February 4, 2010

**EXHIBIT A
TO
TOWN OF BASALT
ORDINANCE NO. 18, SERIES OF 2009**

A PARCEL OF LAND SITUATED IN GOVERNMENT TRACT 59, SECTION 18, TOWNSHIP 8 SOUTH, RANGE 86 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF PITKIN, STATE OF COLORADO LYING NORTHERLY OF THE DENVER AND RIO GRANDE WESTERN RAILROAD NORTHERLY RIGHT-OF-WAY, SOUTHERLY OF THE HOME SUPPLY DITCH CENTERLINE, WESTERLY OF THE EASTERLY BOUNDARY OF SAID TRACT 59, AND EASTERLY OF THE EASTERLY BOUNDARY OF GOVERNMENT TRACT 62, ALSO LOCATED IN SAID SECTION, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT ANGLE POINT NO.7 OF SAID TRACT 59, A BRASS CAP FOUND IN PLACE; THENCE N 00°48'57" E 468.71 FEET ALONG SAID TRACT 59 EASTERLY BOUNDARY TO A POINT ON SAID DENVER AND RIO GRANDE WESTERN RAILROAD RIGHT-OF-WAY, THE POINT OF BEGINNING; THENCE LEAVING SAID BOUNDARY N 57°19'47"W., ALONG THE NORTHERLY BOUNDARY LINE OF SAID DENVER AND RIO GRANDE WESTERN RAILROAD RIGHT-OF-WAY A DISTANCE OF 1080.27 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY OF SOUTH SIDE DRIVE; THENCE LEAVING SAID RAILROAD RIGHT-OF-WAY N 00°56'41"E ALONG THE EASTERLY RIGHT-OF-WAY OF SOUTH SIDE DRIVE A DISTANCE OF 617.68 FEET TO A POINT IN THE CENTERLINE OF THE HOME SUPPLY DITCH; THENCE LEAVING SAID EASTERLY RIGHT-OF-WAY THE FOLLOWING TWENTY-TWO (22) COURSES ALONG THE CENTERLINE OF SAID DITCH:

1. S71°30'44"E A DISTANCE OF 56.82 FEET
2. S52°47'38"E A DISTANCE OF 45.26 FEET
3. S71°16'14"E A DISTANCE OF 45.18 FEET
4. S77°30'53"E A DISTANCE OF 51.82 FEET
5. S55°29'58"E A DISTANCE OF 42.09 FEET
6. S64°52'48"E A DISTANCE OF 35.10 FEET
7. N77°18'12"E A DISTANCE OF 44.99 FEET
8. N84°16'01"E A DISTANCE OF 47.61 FEET
9. N62°06'35"E A DISTANCE OF 31.56 FEET
10. N38°04'24"E A DISTANCE OF 78.37 FEET
11. N50°24'51"E A DISTANCE OF 50.37 FEET
12. N44°49'09"E A DISTANCE OF 50.79 FEET
13. N54°25'44"E A DISTANCE OF 33.75 FEET
14. S70°22'45"E A DISTANCE OF 50.06 FEET
15. S77°27'06"E A DISTANCE OF 60.23 FEET
16. S76°09'47"E A DISTANCE OF 44.40 FEET
17. S50°00'52"E A DISTANCE OF 30.88 FEET
18. S28°25'48"E A DISTANCE OF 51.32 FEET

19. S26°14'19"E A DISTANCE OF 98.77 FEET
20. S31°09'46"E A DISTANCE OF 51.73 FEET
21. S58°48'51"E A DISTANCE OF 51.97 FEET
22. N82°37'03"E A DISTANCE OF 82.93 FEET TO A POINT

ON THE EASTERLY BOUNDARY OF SAID TRACT 59; THENCE LEAVING THE CENTERLINE OF SAID DITCH S00°48'57"W ALONG SAID TRACT BOUNDARY A DISTANCE OF 1015.25 FEET TO THE POINT OF BEGINNING; SAID PARCEL CONTAINING 18.014 ACRES, MORE OR LESS.

Comment: this legal description has been checked by Sopris Engineering and is consistent with the legal description contained in the Annexation Map and Petition. This affects a subsequent condition and the requirement of a note related to the annexation legal description (Exhibit J-1 p.34). That condition is no longer necessary.

EXHIBIT B

COMMUNITY BENEFITS

1. The development shall satisfy annexation requirements for park and trail improvement and dedication improvements as described further in Conditions No. 6 and 7 in Exhibit J. A public bathroom shall be provided in South Park which can also be used by users of the RFTA valley wide trail and designed to accommodate winter use of the Nordic trail. Comment: conditions related to timing of completion of park improvements generally acceptable, but specifics may have to be changed depending on final project phasing.
2. The development shall provide a community housing program that provides teacher housing in lieu of land dedication, provides eleven (11) relocation dwelling units for the river master plan implementation, and provides long term "attainable" housing for a community of residents as described further in the conditions established herein, and as proposed in the Stott's Mill Final Plan application. Comment: not sure if relocation dwelling units for river master plan implementation is still necessary due to Pan & Fork MHP removal. Appropriate condition is that people displaced by Rvier Master Plan Implementation can be included in affordable housing pool assuming they meet other AH criteria.

~~3. The Applicant shall construct and receive a core and shell CO on a daycare facility of at least 3,300 square feet on Block 9 of the development prior to the Applicant obtaining a building permit on the 59th dwelling unit within the development. The Applicant shall condominiumize and dedicate ownership of the facility over to the Town once construction is completed and a certificate of occupancy is issued pursuant to the timing described in Exhibit J.~~

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~~The Town's initial management policy shall be as follows:~~

- ~~a. The daycare use will be the priority use for the facility; and,~~
- ~~b. The Town will lease the space to a daycare provider at the market lease rate for mid valley daycare space as determined by the Town Manager or at a lower lease rate if approved by the Town Council; and,~~
- ~~c. If a licensed and qualified daycare provider cannot be found to lease the space at these terms then the Town Council can authorize another public use in the facility. Lease periods for a non-daycare public use will be one year to preserve the intent that the priority use of the space is a~~

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~~After the daycare space is condominiumized from the remainder of the building by the Applicant and the public dedication of ownership is accepted by the Town, the Town shall be responsible for maintaining and managing the space. The Town will also reserve the right to sell the daycare space once it is dedicated to the Town if the Town ever desires to do so. The daycare facility along with the units above it will be part of the HOA master association and sub association. The owner of the facility will be responsible for discounted HOA dues and assessments as described below. The HOA dues and assessments for the daycare shall be proportional to the HOA dues and assessments for the non-category units above the daycare based on assessed value per square foot and then the daycare dues and assessments shall be further discounted by 20%. At the time the daycare is being constructed, the Applicant may construct residential units above the space with a full second floor; and a partial third floor consisting of at most 1,700 square feet, condominiumize the building, retain and rent the residential units or sell them individually. Comment: as noted in application, applicant suggests placing of Daycare facility is better near main transportation corridor within town. Needed size of daycare have led us to conclusion that Stott's Mill is not the appropriate site for a Daycare facility.~~

4. The development shall satisfy the annexation policy for a minimum 1% Real Estate Transfer Assessment to be used for community benefits. Dwelling units which sell for \$1 Million or more shall have an additional 1% RETA so that the RETA is a total of 2% for those dwelling units. Comment: Acceptable.

5. ~~The Applicant, his successors and assigns shall agree to be in a special district to help fund river and flood prevention improvements. River improvements are needed to ensure better vehicle exiting for all of Southside in the event the south side flooding occurs. While the district is not established at the present time, the requirement is that all annexations contribute to the funding of needed river improvements. This type of project would be assessed at a lesser extent than properties in the floodplain or adjacent to the river which benefit to a much greater extent by the improvements. This requirement shall be documented in the PUD control document, subdivision covenants, annexation agreement, or other type of development agreement, as determined by the Town Attorney. **Stott's Mill is not located in the Roaring Fork River Floodplain and such a condition is inappropriate.**~~

6. The development shall comply with the Town's green building program in effect at the time of building permit. Each single-family residential unit shall have a minimum Home Energy Rating System (HERs) rating index of lower than 80 points (equates to a score of 90 points on the old HERs Scoring

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System) that will be verified at building permit by the Town's Building Official and meet any green building and energy conservation regulations adopted by the Town at the time of building permit issuance. Comment: Will comply with Green Building Program as approved by Town.

7. The Applicant shall identify two (2) parking spaces for use of the carshare program once initiated on the final PUD plan to be recorded. The TRC shall review and approve of the location of the spaces. The Applicant or successors shall pay \$200 per dwelling unit at the time of building permit to the Town for use in implementing a carshare program or other green initiatives at the discretion of the Town's Green Team Advisory Board. We think this condition is an appropriate. It is our opinion that car share programs do not work in an area with relatively low to moderate residential density..

EXHIBIT C

ATTAINABLE HOUSING

1. As represented in the Final Plan application, the dwelling unit breakdown for the project shall be as follows:

Type of Units	(Type A) Deed-Restricted, Price-Capped Units	(Type B) Deed-Restricted RO Units with appreciation caps	(Type C) Deed-Restricted RO Units without an annual appreciation cap	(Type D) RE-1 Units (Units to be dedicated to the RE-1 School District	(Type E) Free-Market Units
	33 Dwelling Units (11 of which shall be dedicated as Replacement Housing Units, 1 of which shall be offered for rent to a daycare employee working within the Town of Basalt, and 5 of which shall have occupancy priorities for "critical workers")	15 Dwelling Units	53 Dwelling Units	2 Dwelling Units	7 Dwelling Units

Comment: intent of the application is to simplify the Affordable Housing requirements for the project. Proposal is to provide rental housing in the multifamily, apartment style buildings and comply with towns housing requirements. The complicated RO with caps, RO without caps, and category units do not appear to be necessary. All deed restrictions as originally drafted will have to be modified. We will still comment on individual paragraphs in this section where appropriate.

- a. The Community Housing and RO units developed in Stott's Mill shall meet the requirements established in the Community Housing Guidelines as in effect on the effective date of this ordinance.
- b. The category-level units (Type A above) shall have a maximum initial sales price that does not exceed an average price that would be affordable to an individual or household making 115% of Basalt's Weighted AMI as defined by using the sales price formula established in the Basalt Community Housing Guidelines.
- ~~c. The RO units with appreciation caps (Type B) shall be required to be owner-occupied at least 9 months out of the calendar year and shall have a simple annual appreciation cap of 5%.~~
- ~~d. The RO units without appreciation caps (Type C) shall be required to be owner-occupied at least 9 months out of the calendar year, but shall not have an initial maximum sales price cap and shall not have an annual appreciation cap.~~
- ~~e. The Applicant shall identify which multi-family units are to be deed-restricted as Category-level units (Type A) and RO units with annual appreciation caps (Type B) prior to recording the Final Annexation documents. Additionally, the lots within the development shall be deed-restricted as Category units and RO units with annual appreciation caps as shown on the matrix in Tab 3 of the Final Plan application.~~
- ~~f. Critical workers shall be defined as persons employed by the Town of Basalt, Pitkin County, Eagle County, the RE 1 School District, the Basalt Sanitation District, the Mid Valley Metropolitan District, or the Basalt and Rural Fire Protection District employed in the "employment area" as defined in the Town's Community Housing Guidelines in effect at the time of each occupancy or as a "critical or essential employee" is defined in the Community Housing Guidelines at the time of each occupancy (if a definition is added to the Community Housing Guidelines). Vacant units designated with an occupancy priority for critical employees shall be offered to non-critical employees qualifying under the provisions of the Town's Community Housing Guidelines after the units have been advertised to critical employees~~

for sixty (60) days. Comment: if a condition of approval requires providing housing to "critical workers", intend to use appropriate definition in Affordable Housing Guidelines or other appropriate Town Code section.

~~2. At least 2 of the deed restricted RO restricted dwelling units (Type B) shall be on the 28 foot wide lots as proposed in the Final Plan application.~~

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~~3. The Applicant shall offer at least 25% of the small lots (28 foot and 42 foot wide lots) to "owner builders". Comment: the term "owner builders" is not part of the present development plan.~~

~~a. Of this total, up to 5 units of the RO deed restricted units (Type B) may be permitted to count toward the required number of owner builder lots. At least two of the owner builder lots shall be on the 42 foot wide lots.~~

~~b. To discourage flipping of the lots and residences on owner/builder lots: comment: Anti-flip device would not seem to be necessary with current Plan.~~

~~i. The vacant owner/builder lots shall be limited to simple annual appreciation caps of 3% per year or the Consumer Price Index (CPI), whichever is greater, until such time as a residence is completed and is issued a CO on each respective lot. The base price to be determined when the first purchaser buys a vacant lot at market conditions. In addition, the RETA established in Condition No. 4 in Exhibit B, shall apply.~~

~~ii. Instead of the 1% up to 2% RETA provisions established in Condition No. 4 of Exhibit B, the following will apply after a residence is built and a CO is issued until the earlier of either 3 years have elapsed following the issuance of the CO or until after the next purchaser buys the home from the initial home purchaser.~~

~~Once a residence is built on an owner/builder lot and a CO is obtained, if the owner/builder sells the residential unit within one year of obtaining a CO, the initial home purchaser shall pay a 5% RETA to the Town. If the owner/builder sells the residential unit within two years of obtaining a CO, the initial home purchaser shall pay a 4% RETA to the Town. If the owner/builder sells the residential unit within three years of obtaining a CO, the initial home purchaser shall pay a 3% RETA to the Town.~~

~~Finally, if the owner/builder maintains ownership of the residential unit for more than three years after obtaining a CO, only the RETA provisions established in Condition No. 4 of Exhibit B shall apply.~~

~~4. The Applicant shall participate with the Town's designated housing~~

~~administrator or other similar entity to participate in down payment assistance programs.~~

5. Up to one and a half floors (half of a floor is not to exceed 1,700 total square feet) of dwelling units (Types A, B, and C) may be located on above a daycare facility. The final design of the daycare/ residential building on Block 9 shall be reviewed for approval pursuant to the procedures in Condition No. 5, Exhibit D prior to the issuance of the first building permit in the development. The primary intent of the design review is to ensure that there is an appropriate level of fenestration and that the alley-facing elevation contains architectural detailing to provide visual interest. Comment: will comply if a daycare with residential units on top is part of negotiated final approval.
6. ~~The Applicant shall only list all the lots and units within the development for sale with a local realtor with a primary office within the Roaring Fork Valley, except for the Category level ownership units that are to be sold through the Town's lottery process. No marketing in national newspapers or magazines for the first sale of any lot or dwelling unit is permitted. Comment: size of units and lots make marketing at a national level unnecessary.~~
7. ~~The initial HOA dues and assessments and changes to the HOA dues and assessments over time for the Category housing units (Type A) shall be as required by the Community Housing Guidelines, as amended from time to time. The Applicant shall provide a revised draft initial HOA budget for review and approval by the TRC prior to recording the necessary annexation documents. The revised HOA budget shall include a sufficient capital improvement fund. In no instance shall the HOA dues and assessments for the category level units (Type A) be more than 80% of the HOA dues and assessments for the free market units (Type E) and RO units without appreciation caps (Type B). Comment: condition thought to be unnecessary as Affordable Housing will rental units~~
8. ~~Prior to the first sale of one of the 15 RO units with an appreciation cap (Type B), the Town or other public entity shall have an option to purchase the unit or a Category level deed restriction to make said unit a Category 3 ownership unit. The "first option" provisions shall allow for the Town to have an ability to make an offer to purchase the unit or pay the difference between market rates and the sale price for a Category 3 Unit in exchange for deed restricting said unit as a Category 3 Unit (Type A). If the Town declines to make an offer to purchase or buy a Category 3 deed restriction on the units in the allotted timeline, then Pitkin County or another public entity shall have the option to purchase the unit or buy a category deed restriction on the unit.~~

~~The Applicant shall notify the Town when an RO unit with an appreciation cap~~

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~~(Type B) is scheduled to be listed for sale. The Town or other public entity shall have 60 days from the Applicant's notification of listing to notify the developer of intent to purchase the unit or purchase a Category 3 deed restriction on said unit. The Town or other public entity will have 30 days after notifying the Applicant of intent to buy a category deed restriction on a unit to enter into a contract with the Applicant. The market price for the RO unit (Type B) will be determined by an independent appraiser to be paid for by the Applicant. Comment: RO with appreciation caps not being proposed.~~

- ~~9. The remaining housing units which are not price (Type A) or appreciation-capped units (Type B) shall be resident occupied and be deed restricted as such, with the exception of the seven (7) free market lots located in Blocks 6 and 11. These remaining housing units with the exception of the seven (7) free market units (Type E) shall be owner occupied at least 9 months out of the year but shall have no income or asset restrictions and will not be subject to annual appreciation caps. Comment: this Seems unnecessary with present Affordable Housing Plan.~~
10. The Applicant shall have the ability to construct a duplex on up to fourteen of the 28-foot wide lots. Each duplex (both units together) shall be capped at the single-family square footages for the R3-TN PUD units that are set forth in Condition No. 2 of Exhibit D. Duplex units shall not be combined into one unit and there shall be no openings permitted in the common wall between units. The final covenants shall include the provisions described above. Comment: applicant wishes to preserve some ability to build duplex units.
11. The small lots (28-foot wide and 42-foot wide) shall be permitted to provide one of their required parking spaces on the street as requested by the Applicant. Each of the small lots includes parking on-site for two cars and the parking requirement for a three-bedroom dwelling unit is rounded up to three parking spaces for these lots. The other uses shall be code compliant in terms of parking.
12. The live/work and home occupational aspects of the Stott's Mill development are approved as represented in the Final Application, as further clarified herein. The inhabitants of the multi-family dwelling units shall be permitted to use up to 15% of their allowable square footage as home occupation space. The single-family lots to be zoned R3 (Type E) and R-3 TN (Types A, B, and C) shall permit home occupations that do not employ more than 1 FTE that does not live on the premises and shall be allowed to use up to 30% of their allowable square footage as home occupation. All home occupations shall also comply with the remainder of the home occupation requirements set forth in the Town Code. Comment: Intent of application is to allow home occupations as per town code.

13. The Applicant shall construct a chain link fence (consistent in design and materials with the existing chain link fence between the High School and the Cerise property) at the eastern boundary of the property to protect the adjacent agriculture land prior to commencing any construction activities on the site. The fence shall be maintained after construction, but the abutting property owners may construct an internal fence meeting the guidelines in the PUD. Comment: Condition acceptable, but would like town and adjacent property owner to consider a wildlife friendly fence that meets Pitkin County and Colorado Division of Parks and Wildlife criteria.
14. The Applicant shall deed restrict two (2) units, consisting of one studio and one 1-bedroom unit, as Category 3 Units and then deed the Units to the RE-1 School District upon condominiumizing the building in which the units are located. The two (2) units for School District employees shall obtain Certificates of Occupancy (CO) and be deeded to the School District before the issuance of COs on units in the third block to be developed on within the subdivision. The School District units shall be part of the HOA and the School District will pay the HOA dues and assessments applied to comparable community housing units in the development. Comment: generally acceptable. Applicant is trying to obtain a similar agreement with R E - 1 School District for present proposal.
15. The apartment units proposed to be category-level rental units (Type A) shall be rented at no more than the maximum rental rates and pursuant to the rental provisions established in the Community Housing Guidelines, as may be amended from time to time. The Applicant shall grant 1/10th of one percent ownership interest in each such rental unit to the Town of Basalt and hold the Town harmless for any liability incurred related to the Town's ownership. In addition, the restrictive covenants for the development shall contain a requirement that the eleven (11) units designated as replacement housing units shall be required to remain rental units for a minimum of ten (10) years after the issuance of a CO on the individual units. Comment: apartment units are intended to be apartments only and not to be condominiumized in future.

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The Town or other eligible replacement housing owner shall have a right of first purchase to buy the replacement housing units if the Applicant decides to convert the units to sale units pursuant to the provisions established above. For the purpose of this condition, eligible replacement housing owners shall be the Town, Town's designated Housing Authority, Eagle County, Pitkin County, or other entity assigned by the Town for the purpose of providing replacement housing. At any time after the ten (10) year period, upon notification that the Applicant would like to convert the replacement housing

units to sale units, the Town will have will have 45 days notify the Applicant of intent to buy the units and then a subsequent 45 days to enter into a contract to buy the units. Comment: Initially think that this part of the condition is unnecessary given present proposal. If a public entity is to have control of apartment units, they are intended to be built to remain under one ownership only.

~~Replacement Housing residents that qualify for a first priority to occupy the designated replacement housing units shall mean an employee with a job or principal office from Aspen to Glenwood Springs that lived in one of the mobile homes to be removed because of floodplain concerns identified in the 2002 River Stewardship Plan. In order to qualify under the occupancy priority for residents, the prospective occupant must demonstrate to the satisfaction of the Town that the mobile home they lived in has been permanently removed from the floodplain and not replaced with another unit in the floodplain. If after 30 days of the replacement housing unit being advertised for rent to replacement housing residents, the unit is not rented to a qualified replacement housing resident, it shall be rented in accordance with the rental requirements set forth in the Community Housing Guidelines for the Category of unit that it is designated.~~Comment: Think this paragraph is unnecessary.

~~In the event that the Applicant wishes to sell any of the rental category units, the Town shall deed the Town's ownership interest back to the Applicant and the category level community housing units (Type A) would be required to be sold according to the provisions in the Community Housing Guidelines for sale units in effect at the time and the Applicant must record a new deed restriction to meet the requirements in the Community Housing Guidelines for owned units. If at any time, a court of competent jurisdiction finds that the Applicant's agreement to rent the multi-family units at below market rate rents violates a state or federal law, or if the Town determines that the rental deed restrictions are unenforceable, then the units shall be sold to qualified buyers as defined in the Town's Community Housing Guidelines at the maximum initial sales prices specified for the category of unit (Category 1, 2, 3, or RO) that they are designated, and the Applicant must execute a new deed restriction to meet the requirements of the Community Housing Guidelines for owned units, pursuant to the required plan specified in Condition No. 1(e), of Exhibit C.~~Comment: Once again, Affordable Housing is not intended for separate ownership.

16. One of the Category 3 units (Type A) shall be first offered for rent for a 60-day period to full-time daycare employees employed within the town limits of Basalt and if the unit is ever condominiumized and sold, it shall be first offered for sale for daycare employees working in the town limits of Basalt for 60-days each time it is offered for sale. In the event that qualified employee that

works within a daycare cannot be found to rent or purchase the unit, it shall be offered for rent or sale subject to the rental and sale provisions for a Category 3 unit in the Community Housing Guidelines. Comment: Providing a rental unit to a daycare employee – if daycare is part of the final approval - is acceptable.

17. The Applicant shall remove the provision in the draft master declarations for all of the deed restricted units that requires the removal of the deed restriction in the instance that a deed restricted unit is foreclosed upon.

EXHIBIT D

SITE PLAN, DESIGN, AND DEVELOPMENT PROGRAM

1. The Applicant shall abide by the revised design guidelines dated August of 2008. The design guidelines shall be incorporated into the PUD approval documents and enforced by the Town in building permit review. This shall not preclude the ability of the development to have a design review board in addition to the Town's review purview over the design guidelines. Comment: Design Guidelines will have to be updated for the multifamily, but same quality is proposed for 2015 project. The developer still intends to utilize four or five local architects for the narrow lot area in order to engage local professionals.

Each building permit application submitted to the Town for a new single-family or duplex residence within the development shall have first been reviewed and approved by the subdivision's design review board for compliance with the subdivision design guidelines. In the event that there is a disagreement between a building permit applicant and the Building Official, the building permit applicant may appeal the Building Official's determination to the Town Council to be considered at a duly noticed public hearing.

The design guidelines shall be amended prior to being included in the PUD approval documents to include the following:

- a. A maximum solar panel size shall be three feet by four feet; and, comment: technology has changed/is changing and future design of panels larger than 3 ft. by 4 ft. May be appropriate. Suggest that larger panels are OK for project if Design Review Committee OK's the design.
- b. A requirement that front yard fences shall meet all requirements in the Town Code for front yard fences and front yard fences shall be setback at least 12 inches from the back of the sidewalk.

The Applicant shall also provide a variety of designs and contract with at least four (4) different local architect firms to design the units to be constructed by the developer to ensure variety in design. Comment: see above comment regarding design.

2. The dimensional requirements for the narrow lots (28-foot wide and 42-foot wide) zoned R-3 TN PUD shall be as follows:

Dimensional Requirement	Approved Measurement
Min. Lot Area	3,360 SF
Building Height	24 Ft. to midpoint
Ridge Height	28 Ft.
# of Stories	2
Lot Width	28
Front Yard Setback	10 Ft. Porch 16 Ft. Living Area
Rear Yard Setback	7 Ft.
Side Yard Setback	5 Ft.
Floor Area	<ul style="list-style-type: none"> • 1,328 Total Square Feet for 11 of 28 Ft. wide lots • 2,000 Total Square Feet for 31 of 28 Ft. wide lots • 2,376 Total Square Feet for 42 Ft. wide lots
Max Lot Coverage	70%
Min Landscape	20%
Parking	Per Town Code. The small lots that have three-bedroom units shall be permitted to provide one of their required parking spaces on the street as requested by the Applicant.
Maximum No. of Bedrooms in a Unit	3 Bedrooms

3. The dimensional requirements for the larger lots (Type E) zoned R-3 PUD, known as Lots 1-3, Block 6, and Lots 1-4, Block 11 shall be as follows:

Dimensional Requirement	Approved Measurement
Min. Lot Area	6,000 SF
Building Height	24 Ft. to midpoint
Ridge Height	28 Ft.
# of Stories	2
Lot Width	50
Front Yard Setback	10 Feet
Rear Yard Setback	10 Feet
Side Yard Setback	10 Feet
Floor Area	4,500 Total Square Feet
Max Lot Coverage	NA
Min Landscape	20%
Parking	Meet Code Requirements

Comment: this zone district is intended to be removed. What was formerly the larger lots on the eastern flank of the project will be re-platted into narrow lots and fall into the R-3 TN PUD zone district

4. The dimensional requirements for the multi-family residential buildings in Phase 2 is proposed to be zoned on Blocks 1A, 1B, and 1C zoned R-4 MD PUD shall be as follows: (still reviewing zoning details).

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Dimensional Requirement	Approved Measurement
Min. Lot Area	NA*
Building Height	33 Ft. to midpoint
Ridge Height	35 Ft.
# of Stories	3
Lot Width	50
Front Yard Setback	10 Feet
Rear Yard Setback	20 Feet
Side Yard Setback	10 Feet
FAR of Building	No Max- Defined by Massing Envelope of Setbacks and Height
Max Lot Coverage	NA
Min Landscape	20%
Parking	Meet Code Requirements

*- A total of 4796 dwelling units shall be permitted on Phase 2 (lot and block

number to be determined) Lots 1A, 1B, 1C, and Block 9. The maximum unit sizes allowed on the parcels to be zoned R-4 PUD are as follows:
note: at this time, zoning details are being finalize to see if it will fit in the R – 4 –MD or if a PUD is necessary. Unit sizes for apartments will comply with town code the less staff is noted otherwise.

Unit Type	Maximum Unit Size
Studio	700 Total SF
1-Bedroom	750 Total SF
2-Bedroom	1,100 Total SF
3-Bedroom	1,250 Total SF

5. The Applicant shall submit a final design for the multi-family units in Phase 2 on Lots 1A, 1B, 1C, and Block 9 for review and approval either as part of the Preliminary/Final plan applications or by the Planning and Zoning Commission prior to issuance of a building permit on any of these buildings (if final designs remain unfinished at time of final approval). If the TRC determines the designs to be substantially different from the conceptual designs reviewed during the Final Plan review, the final design review will require review by both the P&Z and Town Council as a Special Review pursuant to the then applicable special review procedures in the Town Code.

EXHIBIT E

IMPACT FEES AND DEDICATIONS

1. The Applicant shall participate in or contribute on a proportional basis to the future cost of making the transportation improvements that will be necessary to mitigate the cumulative impacts of traffic growth from this and other expected projects. The Applicant shall pay a transportation fee at the time of building permit issuance for each of the individual units based on the following schedule:

Type of Unit	Fee
Free-Market Residential (Type E)	
Detached	\$.85 per total square foot
Attached (Includes duplexes)	\$.70 per total square foot
RO (Types B and C)	
Detached	\$.80 per total square foot
Attached (Includes duplexes)	\$.65 per total square foot
Community Housing (Type A)	
Detached	\$.45 per total square foot
Attached (Includes duplexes)	\$.35 per total square foot

Comment: project will comply with town code. Check with fees noted with Annexation Application.

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2. ~~The Applicant shall contribute on a proportional basis to the cost of implementing the new water storage tank using the methodology and timing of payment in the Town Code and adopted fee schedule (as adopted in Ordinance No. 18, Series of 2008). The Stott's Mill project is subject to certain surcharges, as provided in the Municipal Code, for connecting to the existing water distribution system. Applicant will pay fee for Southside water storage tank as per code.~~
3. The Applicant shall be responsible for constructing a roundabout on Southside Drive in the location shown on the site plan incorporated in the Stott's Mill Final Plan application pursuant to the timing requirements established in Condition No. 12, Exhibit J of this ordinance, unless the roundabout is constructed by another before the Applicant is issued a construction permit from the Town to commence construction activities. It is the intent of this condition that the earlier of the Stott's Mill or Basalt Design District development projects (with the exception that Basalt Design District may construct up to two additional commercial mini-storage buildings on a

property without triggering the need to construct the roundabout) to be issued a construction permit as determined by the TRC would be required to construct the roundabout. Further, it is the Town's intent to require all subsequent Town approvals for development constructed south of the intersection of Fiou Lane and Southside Drive to be responsible for repaying the developer that constructed the roundabout a proportional share of the design and construction costs of the roundabout based on anticipated trip generation as determined by the Town Engineer. Comment: applicant initially proposes to construct three-way stop at intersection of Running Brook Drive /Southside Drive and will dedicate right-of-way for a Roundabout which will meet purposes of the town. Construction and payment details to be finalized later on in process

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The final construction and design cost of the roundabout subject to the reimbursement shall be established by the Town Engineer at the time of completion of the roundabout construction and shall be based on the actual design and construction cost of the roundabout and the value of land dedicated for the roundabout. For the purpose of ensuring an equitable assessment and distribution of the final costs of the roundabout, the final construction cost to be reimbursed will also include the actual cost of borrowing money for the construction of the roundabout and the Applicant shall demonstrate to the satisfaction of the Town Engineer their interest costs related to borrowing money to construct the roundabout. The interest costs related to borrowing the money to construct the roundabout shall be based on the cost of a construction loan. For the purposes of this reimbursement, the cost of a construction loan shall be based on the Prime Interest Rate as published in the Wall Street Journal at the time the Applicant takes out a construction loan to finance the construction of the roundabout and the term of the roundabout construction loan to be reimbursed shall not exceed five (5) years (if the construction loan is taken out by the Applicant for a term less than five (5) years then the interest reimbursement shall be based on the actual term of the loan). If the Applicant takes out a construction loan for longer than five (5) years, the interest reimbursed on the construction loan shall be limited to five (5) years. Comment: see above

The final construction cost shall be demonstrated by the Applicant by providing an itemized summary of the design and construction costs and related invoices to the Town Engineer. The Town Engineer shall provide notice of the final construction costs to the other known parties subject to the reimbursement requirements and by publishing in a local newspaper of general circulation and said parties and the public shall have fifteen (15) days from the notice to appeal the final construction costs. If an appeal of the final roundabout construction cost is filed, the Town Council shall consider the appeal at a public meeting in which (15) days written notice of the public

meeting has been provided to the appellants.

The Applicant shall prepare construction drawings of the roundabout for review and approval by the Town Engineer as part of the final civil engineering drawings.

Developers dedicating land for the construction of the roundabout shall receive credit against their required reimbursement contribution at a fixed value of \$20 per square foot of land dedicated. If the land owner on the west side of Southside Drive at the location of the roundabout is not willing to grant the land to the Town for the roundabout prior to the time that a developer is ready to build the roundabout, a modified roundabout that only requires the dedication of the land on the east side of Southside Drive by the Stott's Mill Applicant shall be constructed subject to approval of the modified roundabout design by the Town Engineer.

The construction of the roundabout shall occur when school is not in session, unless the Applicant proposes, and the Town approves, a plan to detour traffic around the construction site; and Southside Drive shall not be completely closed during construction.

The Applicant shall enter into a cost reimbursement agreement determined acceptable to the Town Attorney prior to recording a Master Subdivision Plat. Town-initiated amendments to this condition require four affirmative votes of the Town Council after a public hearing in which a fifteen (15) day notice is also provided to the parties subject to the reimbursement.

Comment: see comments above

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EXHIBIT F
WATER RIGHTS

Comment: applicant intends to have an updated Water Rights Report as part of the final application as soon as it as it is determine what the final unit count will be. Applicant is also in the process of finding out how the Stott property has been irrigated the past five years. Generally, applicant understands that conditions related to water rights for this revised application will cover the same issues, though final fees and consumptive use of water may be slightly different.

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1. The Stott's Mill developer shall dedicate by special warranty deed all of its 1.57 cfs, absolute, decreed in the Grace & Shehi Ditch, 0.644 cfs under Priority 142 and 0.926 cfs under Priority 302, which have been historically used to irrigate 12.29 acres of the 17.976 acres proposed for annexation into the Town as more further described in the Memorandum from Tom Kinney, Town of Basalt Water Attorney, to Susan Philp and Larry Thompson dated April 30, 2007.
2. The Town shall lease back to the Applicant, portions of these Grace & Shehi Ditch water right priorities for continuation of raw water irrigation within the Stott's Mill PUD Parcel.
3. The Applicant shall be required to provide a cash-in-lieu payment reflecting the cost of the Town's obtaining water rights sufficient to meet the full build-out municipal water service demand occurring during the non-irrigation season (currently anticipated 18.2 acre-feet).
4. As part of constructing the irrigation water storage pond on the property, the Applicant shall abide by the following requirements:
 - a. The out-of-priority stream depletions resulting from pond evaporation should be incorporated by the Town into the Town's augmentation plan, which augmentation plan is and shall continue to be solely owned and maintained by the Town.
 - b. The Applicant shall make a cash payment to the Town in lieu of the dedication of additional water rights and in an amount appropriate to compensate the Town for the legal and engineering costs associated with either amending the Town's augmentation plan or obtaining Water Court

approval of an additional augmentation plan, to incorporate the operational pond as an augmented structure.

- c. The declaration of covenants and the subdivision improvements agreement shall contain language prohibiting the use of treated water for outdoor irrigation purposes, except between November 1st and March 31st when homeowner's may use treated water for irrigation.
 - d. Applicant shall continue to use the dedicated 1.57 cfs Grace & Shehi Ditch water described herein above at Condition No. 1 of Exhibit F pursuant to the annual lease-back agreement described herein below at Condition No. 5 of Exhibit F for the purpose of irrigating 12.29 acres of historically irrigated acreage within the Stott's Mill PUD Parcel until development construction begins and shall thereafter continue to use a portion of said 1.57 cfs Grace & Shehi Ditch water right to continuously irrigate the maximum portion of said 12.29 acres historically irrigated within the Stott's Mill PUD Parcel practicable during construction of the Stott's Mill PUD.
5. The Town's Water Attorney has drafted a municipal water service agreement, water rights dedication deeds, and an annual lease agreement by which the Town will lease back to the developer and/or home owners' association(s) a portion of the 1.57 cfs of dedicated water rights in the Grace & Shehi Ditch for raw water irrigation. The Applicant shall execute these documents prior to or in conjunction with recording the final annexation plat and agreement.

EXHIBIT G

PARKS, TRAILS, AND OPEN SPACE

1. The Applicant shall comply with the annexation requirements for parkland dedication and park improvements by:

a. Dedicating ownership of 4.53 acres of improved park land to the Town as shown on the Final plat and as described in the Final Plan application and improving the two parks as shown on the landscape plan prepared by Mt. Daley Enterprises with a revision date of 11/17/09. Comment: landscape plan will be updated and appropriate dates inserted into conditions.

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b. For South Park, improvements shall include a public bathroom in the vicinity of the Denver and Rio Grande Trail, storage space incorporated into the bathroom design for use by the Public Works Department, drinking fountain, trails, signage, bicycle parking facilities, ~~2 basketball courts, and 4 tennis courts~~, a small storage space of 30 feet by 20 feet to be used by the Aspen/Snowmass Nordic Council or others for storage of nordic grooming equipment and the historic cabin in the configuration generally shown on the landscaping plan dated 6/8/09. As the Town will own the storage space, the Town will be able to use it or specify the use of it in the event it is no longer needed to store nordic grooming equipment. Comment: South Park improvements intended to be the same, though applicant suggests that the active area in SE part of park be kept more open for general use and flexibility and that the basketball and tennis courts not be constructed. Following changes:

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b.

~~b.c.~~ A revised landscape plan shall be submitted for review by the TRC prior to recording the Master plat and SIA that demonstrates the ability for and the location of a 14-foot wide Nordic ski loop in South Park that is free of landscaping barriers.

~~c.d.~~ The Applicant shall erect the proposed pole and rail fence between the Rio Grande Trail ROW and the Stott's Mill property prior to commencing construction activities on the entire site.

~~d.e.~~ The Applicant shall enter into a license agreement with RFTA to construct the sidewalk connections to the Rio Grande Trail prior to recording a Master Plat and SIA.

e.f. The trails on the Landscape Plan prepared by Mt. Daly Enterprises, dated 11/17/09 in the North and South Park shall be asphalt. Comment: dates of final landscape plan will need to be amended.

f.g. The Applicant shall relocate the historic cabin to South Park and make it structurally sound for use as a recreational feature in South Park. This shall be completed as part of the required improvements discussed in Condition No. 7 of Exhibit J below.

g.h. The Town will conduct the routine park maintenance on North and South Park, but the Applicant shall enter into a perpetual maintenance agreement with the Town requiring that the HOA will maintain the raw water irrigation system at its sole expense. The Town Attorney and Public Works Director shall review the maintenance agreement prior to recording it at the Pitkin County Clerk and Recorder's Office. The agreement shall be recorded in conjunction with recording final annexation plat and agreement.

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h.i. The Applicant shall submit trail sign plans for the intersection of the sidewalks/trails in South Park to the Rio Grande Trail for review and approval by Pitkin County Open Space and Trails and the Basalt TRC.

i.j. The Applicant shall provide an irrigation plan for irrigation in the Town's right-of-ways for review and approval by the Town's Horticulturist prior to issuance of any building permits for the development.

EXHIBIT H

FIRE DISTRICT CONDITIONS

1. The declaration of protective covenants shall require that fire apparatus access roads within the development shall not be obstructed in any manner, including the parking of vehicles so that the minimum widths and clearances established in the Section 503.4 of the International Fire Code are maintained. Language shall also be added to the declaration of protective covenants shall also prohibit the parking of recreational vehicles or boats in the on-street parking spaces within the development.

The declaration of protective covenants shall provide that these requirements are enforceable by the HOA and by the Basalt and Rural Fire Protection District.

EXHIBIT I

TECHNICAL CONSIDERATIONS

1. The Applicant shall comply with all of the geo-technical recommendations provided by HP Geotech, including the basement recommendations made by HP Geotech in their letters dated October 23, 2007 and April 3, 2008, requiring that basements for the single-family lots not extend more than six (6) feet below existing grade and that basements not be provided in the multi-family buildings. This shall be a requirement of the declaration of protective covenants. Applicant is of the opinion that depths greater than 6 feet four basements may be appropriate in certain areas of the project. Suggests that basements be engineered and examined on an individual basis if the desire is to extend greater than 6 foot in depth. (Many of the single-family houses made me slab on grade as this often is a more affordable unattainable option for end-users. It's

2. The Applicant shall only be required by the Town to remove a small area of willow vegetation on the westernmost extent at which the Home Supply Ditch is on the Stott's Mill property before it reaches Southside Drive and a small area of willow vegetation at the easternmost extent at which the ditch is located on the Stott's Mill property. These small areas of removal shall be revegetated with a native low-lying species approved by the Town Horticulturist. The Applicant shall have finalized an agreement with the Home Supply Ditch Company to enable the Applicant to construct Alexander Lane across the ditch prior to recording the Master Plat dedicating the parks to the Town.

The Applicant shall prepare a revised landscaping plan for North Park for review by the TRC and the Town Horticulturist that includes an area of dense vegetation adjacent to the irrigation pond that may replace some bird habitat that might be lost if the ditch company or the Applicant removes all of the vegetation on the south side of the Home Supply Ditch within the ditch easement. Four water birch specimens that were identified on the site visit between representatives of the Home Supply Ditch Company and Town Staff on 11/12/09 are to be preserved on the south side of the ditch upon final approval by the Home Supply Ditch Company Board of Directors.

3. There shall be no designated parking spaces, except for handicap spaces on the public streets, spaces on the individual single-family and duplex lots, ~~and carshare spaces.~~—This shall be a requirement of the declaration of protective covenants.

4. The Applicant shall apply for and be annexed into the Basalt Sanitation District prior to the issuance of the first building permit in the development. Acceptance into the Basalt Sanitation District shall be contingent on obtaining final annexation approval. Comment: Applicant has submitted a Special Fee and Reimbursement Form with deposit with the Sanitation District. Applicant will petition to be annexed to the District.
5. The Town contracted with Economic and Planning Systems (EPS) to develop an economic model to study the fiscal impacts of the development on the Town. The Applicant shall reimburse the Town for the cost of having EPS conduct the study.
6. The residential units above the daycare shall be limited to one bedroom units to limit parking demands around the daycare for uses other than the daycare. Comment: of course depends if daycare facility as part of approval and if residential space is allowed on top of such daycare unit.
7. The Applicant shall dedicate the alleyways to the Town on the Master Plat, but the Applicant shall also enter into a perpetual maintenance agreement requiring the HOA to maintain the alleyways, including but not limited to snowplowing and resurfacing. This maintenance agreement shall be drafted by the Applicant and reviewed by the Town Attorney and Public Works Director and recorded prior at the County Clerk and Recorder's Office in conjunction with recording the PUD control document. Comment. Condition acceptable.
8. The Applicant shall amend the site plan to include a five (5) foot wide sidewalk on the south side of South Park Drive. Comment: I believe this has already been done as part of cleanup of previous approval.
- ~~9. The Applicant shall submit new street names to replace South Park Drive, North Park Drive, and Apartment Street that do not conflict with other street names in Eagle or Pitkin Counties for review and approval by TRC prior to recording the Master Subdivision Plat. Note: streets have been renamed as per this condition.~~
- ~~10.9.~~ Development in the rights-of-way shall occur as approved in the Final PUD plan, but the Town reserves the right to make future improvements in the rights-of-way as deemed appropriate and shall not be bound by limits established in the PUD.

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EXHIBIT J

PHASING AND APPROVAL DOCUMENTS

1. The Applicant shall enter into a PUD control document with the Town within 180 days of the effective date of the Final Plan ordinance adopting the terms and conditions of the development and providing security for the common public improvements associated with the development. The Applicant shall also record a Master Plat/Annexation Map and Final PUD Development Plan with the Pitkin County Clerk and Recorder's Office within 180 days of the effective date of the Final Plan ordinance.

~~A note shall be included on the Final Annexation Map indicating that the area of annexation has been refined from the legal description included on the original annexation petition, yet represents the development proposed in the annexation petition that was approved for annexation eligibility pursuant to Resolution No. 5, Series of 2006 and to be in substantial compliance with the annexation requirements pursuant to Resolution No. 2, Series of 2006.~~

Legal description has been refined and same legal description will be on annexation petition and all application documents.

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The PUD control document, Master Plat/Annexation Map, and PUD Development Plan shall be reviewed by the Town Attorney for approval of form and content prior to recording. The PUD control document, Master Plat, and PUD Development Plan shall be recorded prior to commencing the installation of infrastructure and prior to the issuance of the first building permit in the development. The Applicant shall also prepare deed restrictions for the community housing units for review and approval by the Town Attorney prior to the recording of the PUD Control Document. Note: understand the request for deed restrictions – they will just be very different compared to last application.

An individual subdivision plat shall be submitted for each phase prior to closing on the sale of any lots or developing on any of the lots in each phase. The individual phase subdivision plats shall be reviewed and approved by the TRC prior to recording. If the TRC finds that an individual subdivision plat that is submitted is inconsistent with the approvals established herein, the Applicant may request that such determination be appealed to the Town Council to be reviewed at a duly noticed public hearing. For the purposes of the phasing approvals, the term "filing" shall mean the same as a "phase" as identified on the Applicant's proposed phasing plan prepared by Sopris Engineering, dated July 28, 2009. Comment: phasing conditions will have to wait until applicant sees condition of housing market at time of final approval.

One option is to plat out the project in its entirety at the front end of the project and install all infrastructure at one time.

2. The following improvements shall be required as part of the Subdivision Improvements Agreement for any filing prior to closing on the sale of any lots within the filing to be recorded in conjunction with filing the subdivision plat for an individual filing:
 - a. Pedestrian crossing improvements at corners and a pedestrian link to the block being developed; and,
 - b. Two driving lanes adjacent to the blocks being developed; and,
 - c. Alley improvements within the blocks being developed as proposed by the Applicant, with addition that the alley shall only be gravel for one year from the issuance of the first building permit within the block; and,
 - d. The parking lot and drive west of the multi-family Blocks 1A, 1B, and 1C may be phased as proposed in the Applicant's phasing plan except that it may only be gravel for up to one year after the issuance of the first single-family building permit or the first CO on a multi-family building, whichever is earlier; and,
 - e. Parking on both sides of the street adjacent to the blocks being developed; and,
 - f. Concrete curb and gutter on both sides of the street adjacent to the blocks being developed; and,
 - g. All utility lines brought to the blocks being developed, including potable water, raw water, electric, telephone, communications, gas, and cable; and,
 - h. Sewer improvements adjacent to the blocks being developed, and all downstream sewage conveyance facilities of the block being developed; and,
 - i. Signage and striping; and,
 - j. Stormwater improvements adjacent to the block being developed, and all downstream stormwater conveyance facilities to convey stormwater to, and including, detention facilities.
 - k. Landscaping shall be installed pursuant to the timing established in No. 4 below.
 - l. Sidewalks shall be installed pursuant to the timing established in No. 4 below.

Comment: we need to see Phasing plan as noted above

3. In conjunction with each filing, the Applicant shall submit an individual site control plan for each filing for review and approval by the Town Engineer and the Public Works Director. The site control plan for each filing shall include the status of site grading, top soil removal, structural fill placement, locations for stockpiling of material, storm water drainage and detention, weed control

and interim reseeding (where necessary to control dust and erosion where alternate measures are not satisfactory), sediment control, dust control, ditch relocation issues, and public safety concerns. The intent of the site control plan review is to provide for appropriate mitigation measures in recognition of the fact that heavy equipment, grading and site disruption will be occurring for a period of several years. Comment: once again, we need to know final phasing concept before conditions can be finalized. The site control plan condition may no longer be necessary

4. Sidewalks and street landscaping shall be installed, and accepted by the Town Engineer in the rights-of-way adjacent to the blocks being developed prior to closing on the sale of any lots on a block and prior to the issuance of a CO on any of the units within the block. However, up to five (5) individual owner/builder lots in each phase are exempt from the above requirement and may be sold prior to the completion of sidewalk and street landscaping. Sidewalks adjacent to the South and North Parks shall be constructed in conjunction with construction of the landscaping improvements in the parks. Additionally, the eight (8) foot wide sidewalk running north and south adjacent to Cross Street shall also be installed and completed in conjunction with the completion of all of the required park improvements in North and South Parks so that there is a connection between the parks upon their completion. Comment: we may not have the five owner/builder lots as part of the project.
5. The Applicant shall be required to construct and obtain a core and shell CO and dedicate the public facility with a daycare priority on Block 9 prior to the Applicant obtaining a building permit to construct the 59th unit in the development (equates to the daycare being required prior to half of the units obtaining a building permit in Phase 2 of the development).

The Town may construct the permanent daycare facility earlier than the second filing at the Town's cost.

Comment: as noted previously, we suggest daycare provision not be a condition of approval.

6. The Applicant shall complete all of the proposed park improvements (including all landscaping, trails, one stormwater detention facility, the ditch improvements, pond, irrigation piping, and adjacent sidewalk and parking) in North Park prior to recording the plat for the second filing in the development.
7. The Applicant shall complete all of the proposed park improvements (including all landscaping, trails, one stormwater detention facility, the ditch improvements, the adjacent sidewalk and parking, the public facilities/storage, and the courts) in South Park prior to the earlier of the Applicant obtaining a

building permit on the 59th unit in the development (equates to the park improvements being required prior to the Applicant obtaining a building permit on half the units in Phase 2 of the development) or prior to the issuance of any building permit in Block 10 of Phase IV or on Lots 3 or 4 of Block 11 in Phase V of the development.

8. The Applicant shall construct a chain link fence (consistent in design and materials with the existing chain link fence between the High School and the Cerise property) at the eastern boundary of the property to protect the adjacent agriculture land prior to commencing any construction activities on the site. The fence shall be maintained after construction, but the abutting property owners may construct an internal fence meeting the guidelines in the PUD. Comment: as noted previously, request Town and adjacent property owner to consider wildlife friendly fence which complies with Colorado Department of Parks and Wildlife standards.
9. The two (2) units for School District employees shall obtain COs, be deed restricted as Category 3 units, and then be deeded to the School District before the issuance of COs on any units in the third block to be developed on within the development. Comment: need to have final negotiations with School District to see if they want deeded units. Apartment units perhaps may be utilized by School District but not transferred in ownership – depends on final negotiations.
10. ~~The category level units and RO units with appreciation caps shall be constructed at a proportional rate with the RO units without appreciation caps and free market units (if any are approved). For example, since the number of category level and RO units with appreciation caps equal at least 30% of the units within the project, at least three (3) category level or RO units with appreciation caps shall be constructed and obtain COs out of every ten (10) total units developed within the project. Note: the various category and RO units are not proposed to be developed as per previous plan. Any Affordable Housing Units will be provided proportionally as per town code.~~
11. The multi-family Blocks 1A, 1B, and 1C shall remain in a single ownership until such time as the last of the multi-family buildings on these blocks is completed and obtains a CO. All of the multi-family buildings on Blocks 1A, 1B, and 1C shall be constructed and obtain a CO prior to the recording a plat on the third filing in the development to ensure that the Southside Drive streetscape is completed. Comment: as noted previously, multifamily units are proposed not to be subdivided – they are intended to be kept under one ownership and phase 2 will probably be one large lot.
12. The roundabout on Southside Drive shall be installed and completed as part of the 1st phase improvements and within the first summer of infrastructure

improvements. The Applicant shall submit and implement a detour plan for pedestrians, bicyclists, and vehicular traffic acceptable to the Town Engineer to safely and efficiently move pedestrian, bicyclists, and vehicles around the roundabout construction prior to commencing construction on the roundabout. Comment: applicant will comply with roundabout conditions as negotiated during development review process.

13. The irrigation pond and irrigation piping shall be installed in the 1st phase of improvements and prior to the issuance of the first building permit within the development.
14. The Applicant shall make arrangements to continue temporary storage at the Applicant's cost for the Nordic Council's equipment on the site until the new storage facility is completed in South Park.
15. Up to four (4) model units that are not inhabited may be exempted from the phasing requirements by the TRC. Comment: Model units would be placed on lots 1 to 3, block 1.
16. If there are any insubstantial changes to the project's phasing plan during construction, a revised phasing plan shall be submitted for review by the TRC. Any minor deviations from the requirements of the approved phasing plan require approval by the TRC and shall be documented by the issuance of a TRC Certificate. If the TRC finds that a change is not insubstantial, the change shall require approval by the Town Council.
17. If the Applicant is constructing their infrastructure when the Town is ready to develop Parcel C of Basalt Design District, the Applicant will grade and install utilities for the project at their cost. Alternatively, if the Applicant has completed infrastructure improvements on their site but is still doing vertical construction when the Town is ready to develop Parcel C, the Applicant shall provide the Town with a legitimate construction bid for the vertical construction on Parcel C. The bid shall be a market rate bid that is discounted by 100% of the staging costs, except that the Applicant may include justified "specialty staging costs" in their bid at the discretion of the TRC. For the purpose of this condition, "specialty staging costs" shall be defined as the staging costs associated with the need to bring in specialty equipment that is not staged at Stott's Mill at the time of construction on Parcel C of Basalt Design District. Comment: we feel this condition is unnecessary as there is no present plan for Parcel C. Of course, if a plan for parcel C is nearing approval concurrently with Stott's Mill, developer will be happy to provide a bid.
18. Comment: financial security conditions will have to be updated in general. Applicant will comply with security to be provided in general for project as a

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whole and for specific phases if phasing is still part of approval. The Applicant shall provide financial security in a form acceptable to the Town Attorney, in an amount sufficient to secure all of the improvements within both North and South Parks, and the Southside Drive roundabout within the development plus a ten (10%) percent contingency in conjunction with filing the master plat and PUD plan. Prior to the issuance of the first building permit or closing on the sale of any lots in an individual block, whichever is earlier, the Applicant shall prepare and record a subdivision plat for the individual block or blocks that are being developed.

In conjunction with filing the subdivision plats on the individual blocks, the Applicant shall be required to put up sufficient financial security in a form acceptable to the Town Attorney for the public improvements in the block. If the Applicant is proposing to develop multiple blocks at once, they shall be allowed to record multiple block subdivision plats at once, but they would need to put up security for the public improvements on all of the blocks being platted.

The Town may draw on the financial security posted for the public improvements to install any incomplete public improvements or restore the site to an acceptable condition if at any time after the commencement of construction activities the Town Engineer determines that the project or a portion of the project has been abandoned. Abandonment for the purpose of administering this condition shall mean that the Applicant has started improvements, but has stopped all construction activities on the site for a period of more than six (6) months.

No more frequently than once every quarter, Applicant shall be entitled to partial releases or reductions of the Performance Guaranty as portions of the Improvements are completed and approved. In order to obtain a partial release or reduction of the Performance Guaranty, Applicant shall submit a Certificate of Partial Completion signed by an engineer licensed in the State of Colorado or other appropriate professional acceptable to the Town describing the portion of the Improvements completed, and the cost allocation associated with such completed improvements. Comment: quarterly drawdowns are appropriate.

EXHIBIT K

VESTED RIGHTS AND CONTRACTUAL PHASING

1. Vested property rights shall be granted for a period of five (5) years from the effective date of the ordinance approving the final annexation. The Applicant may request an extension of vested rights and an amendment to the contractual phasing requirements pursuant to the process for extending vested rights as established in the Town Code. The Town Council may consider the strength of the local housing market and construction lending environment in considering a request to extend the vested rights and contractual phasing time period. Comment: acceptable.

All of the public improvements required in Phases 1 and 2 of the development, including the construction of the roundabout, all of the North Park improvements, all of the South Park improvements, and the core and shell of the daycare facility shall be completed within the five (5) year vested rights period. If all of these improvements are not completed to the satisfaction of the Town within the five (5) year vested rights period, then no further building permits shall be issued except on owner/builder lots within the development and no additional plats shall be filed within the development unless the Town Council extends the vested rights period. Additionally, if the Applicant does not complete the Town's required Phase 1 and 2 improvements within the five (5) year vested rights period, the Town reserves the ability to unilaterally rezone the property or change the allowable uses within the PUD. Comment: time period related to "phases" will need to be refined, depending on number of phases.

PARCELS WITHIN 300' OF STOTT PROPERTY

PER PITKIN COUNTY GIS 9/25/2015

ID No.	PARCEL No.	OWNER NAME	ADDRESS	CITY	STATE	ZIPCODE
1	246718117016	BRAUN ALFRED K & VALERIE JANE	PO BOX 339	WOODY CREEK	CO	81656
2	246718117017	POTVIN LAYNE ALLISON 94.8%	320 W BLEEKER ST	ASPEN	CO	81611
3	246718117017	POTVIN DALE 5.2%	320 W BLEEKER ST	ASPEN	CO	81611
4	246718117018	POTVIN RYAN ALEXANDER	320 W BLEEKER ST	ASPEN	CO	81611
5	246718117018	POTVIN DALE	320 W BLEEKER ST	ASPEN	CO	81611
6	246718117019	OXLEY JOHN C LIVING TRUST	1437 S BOULDER AVE #770	TULSA	OK	74119
7	246718117019	OXLEY DEBBY M	1437 S BOULDER AVE #1475	TULSA	OK	74119
8	246718107002	312 SOUTH HUNTER LLC	790 CASTLE CREEK DR	ASPEN	CO	81611
9	246718107007	FRASER TAMI L & BROWN CYDNEY M	362 BRANDING WY	BASALT	CO	81621
10	246718109006	JAY MATTHEW & JESSICA	364 SUMMERSET LN	BASALT	CO	81621
11	246718107003	PARVATI PROPERTY LLC	147 ST JOHNS RD	GLEBE, AUSTRALIA	NSW	2037
12	246718107006	NELSON DEBORAH M	372 BRANDING WY	BASALT	CO	81621
13	246718109003	TEMPLEMAN HUGH & REBECCA A	373 BRANDING WY	BASALT	CO	81621
14	246718117024	HOLSTEIN SARA LAUREL CLOUD	409 MEADOWVIEW LN	BASALT	CO	81621
15	246718117023	SEGAL DAVID J	419 MEADOWVIEW LN	BASALT	CO	816218396
16	246718117023	SIMMONS ROLLIN R	PO BOX 3666	BASALT	CO	81621
17	246718108008	FISHER WILLIAM A & LEANA B	379 MEADOWVIEW LN	BASALT	CO	81621
18	246718108002	MARLOW DAVID O	421 AABC	ASPEN	CO	81611
19	246718108006	NIEMER WILLIAM THOMAS & KATHLEEN ANN	359 MEADOWVIEW LN	BASALT	CO	81621
20	246718108003	MOYER ANNE	329 MEADOWVIEW LN	BASALT	CO	81621
21	246718108005	ROMINGER ANN B & JAMES B JR	349 MEADOWVIEW LN	BASALT	CO	81621
22	246718108004	SCHROEDER JACQUELINE LEE	PO BOX 2347	BASALT	CO	81621
23	246718108004	DAHLSTROM MARK	PO BOX 2347	BASALT	CO	81612
24	246718111802	TOWN OF BASALT	101 MIDLAND AVE	BASALT	CO	81621
25	246718109002	SW ENTERPRISES LLC	0124 TOTTERDOWN RD	ASPEN	CO	81611
26	246718117021	DALLENBACH PAUL J	437 ALLISON LN	BASALT	CO	81621
27	246718117021	STAMENKOVIC SLADANA	437 ALLISON LN	BASALT	CO	81621
28	246718107004	BETHNE LLC	PO BOX 9432	ASPEN	CO	81612
29	246718108007	HIRSCHFELD CYNTHIA A	369 MEADOWVIEW LN	BASALT	CO	81621
30	246718108007	HARTLEY TODD M	369 MEADOWVIEW LN	BASALT	CO	81621
31	246718117022	POTVIN FAMILY TRUST 50%	320 W BLEEKER ST	ASPEN	CO	81611
32	246718117022	OXLEY DEBBY M 10%	600 E MAIN ST #103	ASPEN	CO	81611
33	246718117022	OXLEY JOHN C 40%	600 E MAIN ST #103	ASPEN	CO	81611
34	246718117020	OXLEY JOHN C LIVING TRUST	1437 S BOULDER AVE #770	TULSA	OK	74119
35	246718117020	OXLEY DEBBY M	1437 S BOULDER AVE #1475	TULSA	OK	74119
36	246718109005	SUMMERSET DUPLEX LLC	725 SPRING PARK RIDGE	CARBONDALE	CO	81623
37	246718108009	PERLMUTTER JAMES R	PO BOX 11385	ASPEN	CO	81612
38	246718108009	SHUFRO SUSAN E	PO BOX 11385	ASPEN	CO	81612
39	246718108001	MALEY PATRICK RYAN & KRISTEN K	250 RIVERSIDE DR	BASALT	CO	81621
40	246718107011	PELINSKI PETER & BERNADETTE	382 BRANDING WAY	BASALT	CO	81621-9177
41	246718116002	ANDRADE TRUST	358 MEADOWVIEW	BASALT	CO	81621
42	246718109008	REPASS M ROBIN	109 WOOD RD	LOS GATOS	CA	95030
43	246718116001	RAPPAPORT NOAH	8333 CLINTON ST #1	WEST HOLLYWOOD	CA	900486023
44	246718107005	VAUGHAN MARY CATHERINE	PO BOX 1154	ASPEN	CO	81611
45	246718100012	DAVIDCO LLC	PO BOX 710	BASALT	CO	81621
46	246718112006	DAVIDCO LLC	PO BOX 710	BASALT	CO	81621
47	246718100013	BRUSH CREEK LAND CO LLC	PO BOX 1248	ASPEN	CO	81612
48	246718111801	TOWN OF BASALT	101 MIDLAND AVE	BASALT	CO	81621
49	246718400801	ROARING FORK SCHOOL DIST RE-1	PO BOX 820	GLENWOOD SPRINGS	CO	81602
50	246718400009	ST JUDES COMPANY	PO BOX 885	BASALT	CO	81621
51	264308100813	ROARING FORK TANSIT AUTHORITY	0766 INDUSTRY WY	CARBONDALE	CO	81623

Mark Chain
 811 Garfield Ave.
 Carbondale, Colorado 81623
 mchain@sopris.net

RE: Sketch Plan Engineering Report for the Stott's Mill PUD Project
 SE Job No. 15115.01

Mark,

Sopris Engineering, LLC (SE) has prepared the following Sketch Plan Engineer's Report to address the proposed access, traffic, drainage, irrigation, sewer, water, electric and other utilities to service the proposed Stott's Mill PUD project (site).

1.0 Project Description:

The site is located in Basalt, Colorado in the Southside neighborhood which is on the south side of State Highway 82. The proposed Stott's Mill PUD subdivision consists of small single family lots in the center and on the east side of the site, high density residential multi-family buildings on the west side adjacent to Southside Drive, and large park areas on the north and south sides of the site. The site is bound on the north by the existing Southside subdivision, on the east by undeveloped irrigated pasture lands, on the south by the railroad right of way and the Basalt High School, and on the west by Southside Drive and undeveloped parcels. Refer to C1.3-Vicinity Map.

The site existing utilities, roads, site improvements, and topography are based upon an existing conditions topographic survey performed by Sopris Engineering dated September 2007; which incorporates as-built utility information for the Southside Subdivision to the north and the Basalt High School to the south. The utility locations shown on the maps are approximate and should be verified for construction purposes.

2.0 Access:

The proposed site includes gridded through streets and alleys. Two access connections are proposed to Southside Drive to the west, and one connection is proposed to the north via Allison Lane. Streets onsite include parallel parking on both sides where feasible and include detached sidewalks. Alleys are proposed for the interior residential blocks to provide vehicular access to parking and garages in the rear of the lots. One access location is planned for future development access to the east at the southeast corner of the site. The proposed multi-family area will have three access connections to proposed onsite streets to the north, south, and east. The site improvements are shown on Sheet C2.1, and proposed street sections are shown on sheet C6.5.

2.1 Emergency Access:

All of the proposed street sections and the private parking areas for the multi family area will be maintained and designed to meet the Basalt Fire Department standards. The curb radii at the street intersections will allow for fire truck and large delivery truck access to all lots onsite.

3.0 Traffic & CDOT Access:

502 Main Street • Suite A3 • Carbondale, CO 81623 • (970)704-0311 • Fax (970)704-0313

SOPRIS ENGINEERING • LLC

civil consultants

We understand that the Town of Basalt has contracted with SGM Engineers to prepare an updated operational analysis traffic study for the entire Southside area, which focuses on the intersection of Basalt Avenue at Highway 82. We understand that the traffic study is an update from the operational analysis that SGM prepared in 2006. This update will include updated traffic counts, and development assumptions for undeveloped parcels in Southside drive.

We understand that traffic and access implications from Stott's Mill will be discussed in the SGM study. We request a copy of this study in order to review and understand whether a CDOT Access permit will be required for this site.

4.0 Utilities:

The proposed sewer, water, electric, telephone, cable, and gas locations described below are shown on *C5.1-Utility Plan*. Will serve requests have been sent to all of the utility companies. Copies of the will serve letters received from utility providers are included in the Appendix of this report.

Based upon the existing utility locations and our field investigations, all utilities are onsite or directly adjacent to the site to serve the project. Existing utility services are stubbed out to the site. Proposed utility main lines onsite will be within public Right of Ways or in proposed utility easements as shown on the utility plan.

4.1 Sanitary Sewer

Existing Sanitary Sewer:

All of the existing Sanitary Sewer in this general area, which will serve the project, is served by the Basalt Sanitation District System. Proposed service to the Stott's Mill site is available using an existing 12" sewer main, which flows north in Southside Drive, and by an existing 8" sewer main that is stubbed out in Allison Lane just north of the site.

Proposed Sanitary Sewer:

Two primary 8" sewer lines are proposed to serve the site; sanitary sewer main 'A' on the west side of the site which will connect to the 12" sewer main in Southside Drive at Running Brook Drive, and sanitary sewer main 'B' which will connect to the existing 8" stub in Allison Lane.

The sewer main line 'A' will extend east in Running Brook Drive and then south to serve the proposed 96 units in the multi-family area. Four buildings are proposed, each building will have 24 units of a mix of 1 and 2 bedroom units. The sewer main line 'B' will extend south in Allison Lane to the south end of the site at Amesbury Drive. Two sewer mains 'D' and 'E' will extend in the alleys to serve the middle blocks. Two future sewer main lines will be stubbed out for future extension to the east.

According to appendix A of the BSD Rules and Regulations, the site sewer usage is equal to 153 EQR. Sanitary sewer effluent that flows to sewer main 'A' or 'B' and is summarized in Table 1 below. Per the BSD rules 1 EQR is 300 gallons per day (gpd). The total effluent flow generated onsite is 45,900 gpd.

TABLE 1 - SEWER USAGE SUMMARY					
SEWER 'A'	# Units	EQR/Unit	# EQRs	GPD/EQR	GPD
MF 1-BEDROOM	24	0.8	19.2	300	5,760
MF 2-BEDROOM	72	1.0	72.0	300	21,600
SUB TOTAL A=	96	=	91.2	=	27,360
SEWER 'B'	# Units	EQR/Unit	# EQRs	GPD/EQR	GPD
Single Family	60	1.0	60.0	300	18,000
Park:	Fixtures	EQR/Fixture	# EQRs	GPD/EQR	GPD
-Toilet	2	0.5	1.0	300	300
-Sink	2	0.2	0.4	300	120
-Drinking Fountain	2	0.2	0.4	300	120
PARK SUB TOTAL=	6	=	1.8	=	540
TOTAL =			153.0	TOTAL =	45,900

Appendix B of the BSD rules and regulations includes Design Requirements in Section 2 of the Construction Standards. The standards provide a design flow equation and identify pipe size, velocity, slope requirements, depth of bury, and alignment requirements. The Stott's Mill sanitary sewer mains will be installed according to these standards.

A preliminary analysis of design peak flow and pipe flow velocities is included in Appendix A of this report. For sewer main line 'A' & 'B' pipe flow velocities are above the minimum of 2.0 feet per second (fps), but are well under the 10.0 fps maximum. For terminal sewer main lines 'D' and 'E', which have only one or two lots of effluent flow at the upstream end, the flow velocity is less than 2.0 fps. These main lines however are proposed with the required minimum pipe size of 8", and have slope that is above the minimum required pipe slope of 0.60% for an 8" line.

Permitting, installation, and construction of the proposed sanitary sewer system will be in compliance with the BSD Rules and Regulations.

4.2 Water

Existing Potable Water:

An existing 12" water main is located in Southside Drive, and an 8" main is located in Allison Lane which are part of the Town of Basalt's water system.

Proposed Water System:

The proposed water system onsite will tie into the existing 12" water main in Southside Drive and to the 8" water main in Allison Lane. The 8" water main connections to the 12" main are proposed at Running Brook Drive and Amesbury Lane and will loop onsite. One 8" water lines will stub out to the east in Amesbury Lane for future development to the east. The proposed looped system with three connection points to the existing main line will provide a reliable water supply adequate to meet fire flow requirements and the potable water demands of the proposed development.

Water usage was calculated based on Exhibit A - Town of Basalt EQR Schedule which is part of the Town Municipal Code. Total site water usage is calculated as 114.1 EQR. We understand that 1 EQR = 350 gallons per day (including irrigation). Because no potable water will be used for irrigation, we have reduced water usage to 300 gpd per unit. We have reduced the number of EQR by the % reduction (300/350) of water usage per unit. Total water usage is summarized in table 2 below.

TABLE 2 - WATER USAGE SUMMARY					
AREA	# Units	EQR/Unit	% Reduction (300/350)	# EQRs	GPD
MF 1-BEDROOM	24	0.6	85.71%	12.3	4,320
MF 2-BEDROOM	72	0.8	85.71%	49.4	17,280
Single Family	60	1.0	85.71%	51.4	18,000
Park:	# Units	EQR/Unit	GPD/EQR	# EQRs	GPD
Bathroom, drinking fountain	1	1.0	350	1.0	350
TOTAL =				114.1	39,950

Permitting, installation and construction of the proposed water system will be in compliance with the Town of Basalt Public Works Manual.

4.3 Fire Flow:

In an April 7, 2016 phone conversation with Bill Harding, the Fire Marshall for the Basalt Rural and Fire Protection District, we were told that the South side Water Storage tank is empty and offline. The tank is settling and we understand that the cause of the issue and a solution to the problem is currently being worked on. As the tank is in place, we assume that it will be on line and functional when Stott's Mill is developed. However, because current fire flow data is not available that includes the Southside Tank, we will use old fire flow data for this report. The old fire hydrant fire flow tests which are from a marked up graphic from Basalt Fire are included in Table 3 below.

Table 3 - Existing Fire Flow Test Summary					
Fire Hydrants	Location	Pressure (psi)		Flow (gpm)	
		Static	Residual	Test flow	Available
121 & 122	8" Main in Meadowview and Allison Lane	111	78	1537 @ 22psi	2659 @ 20psi
85 & 86	12" Main in Southside Drive at the High School	96	82	1443 @ 74psi	3605 @ 20psi

The old fire flow rates are good in the Southside Area of Basalt. With the tank online, the fire flow rates will increase. The Stott's Mill site has a looped 8" water main that connects to the existing 12" water main at two locations, and also connects to the 8" water main in Allison Lane. Fire hydrants are proposed throughout the site primarily at street intersections as shown on Sheet C5.1. The onsite water mains will provide a reliable water supply adequate to meet fire flow requirements. Final fire flow rates and calculations will be provided for the final plan submittal.

4.4 Raw Water Irrigation:

A proposed raw water system will be installed to provide landscape irrigation to all landscaped areas onsite. Irrigation water will be supplied from the existing lateral irrigation ditch on the east property line, using historic irrigation water rights associated with the property. Flow from the irrigation ditch on the east property line will be diverted in a splitter box, and piped underground to the irrigation pond in the north park. Excess flow into the irrigation pond will flow into a weir box and flow out to the home supply ditch. This design maintains the pond water surface elevation because of the continuous inflow from the existing ditch and outflow to the Home Supply ditch.

The irrigation pond will be sized to store approximately 1.5 days of raw water usage onsite. The pressurized irrigation system will draw water from the irrigation pond in the north park and flow through a pressurized irrigation main which will provide individual services to each user. Multiple irrigation zones will be created which will maximize the efficiency of the pump system. We anticipate the pump system will include a small low flow pump, and two larger variable speed pumps.

4.5 Electric/Telephone/Cable/Gas:

An existing electric manhole on the north side of the site will provide electric service to the site. Electric transformers for central single family lots be placed on the lots adjacent to the alley ROW. Additional on lot utility easements will be provided for the electric transformers. The location of the electric transformers in the multi family area will be determined during the final plan process. Telephone and cable service will be extended from the north side of the site in Southside Drive. Proposed telephone and cable conduit onsite will share a common trench with electric. Service pedestals will be located in the alley and adjacent to the building in the multi family area.

Gas service will be extended from the north side of the site in Southside Drive and in Allison Lane. Where possible, gas will share a common trench with the shallow utilities.

5.0 Drainage:

Refer to the separate drainage memo prepared for Stott's Mill. Final drainage calculations will be included with the final plan submittal.

6.0 ESA Ordinance / Natural Hazards:

According to the Town of Basalt Code an environmentally sensitive area (ESA) is defined as; all land within 50 feet of the high water line, floodplains, riparian and wetland areas, and wildlife habitat areas. This site is not within an ESA. Based on site visits and our knowledge of the general area, no other natural hazards (including flooding, subsidence, unstable soils, rockfall hazards, historic debris flow, and alluvial fan areas) are found on site. Based upon the surrounding uses and site conditions, fire hazard onsite is very low.

7.0 Conclusion:

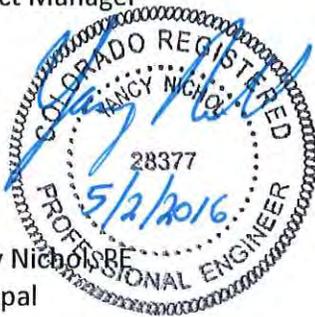
For the Town of Basalt sketch plan process it has been determined that the site; will have good access, can be served by all required utilities, and the drainage and natural hazard impacts will be mitigated. Engineering drawings are included with this report to demonstrate that the above design conditions can be met. Please contact us with any questions, clarifications, or design revisions.

Sincerely,

SOPRIS ENGINEERING, LLC



John Petaisto, PE
Project Manager



Yancy Nicholas
Principal

APPENDIX

APPENDIX A - STOTT'S MILL PUD SEWER HYDRAULIC FLOWS

SEWER 'A' - 8" SDR 26 W/ 96 UNIT FLOW			
GPD	DEV AREA (SF)	DEV AREA (AC)	DRG AREA (AC)
27,360	189,522	4.351	4.351
Design peak flow = 3.0 x average daily flow + infiltration + inflow			
Design peak flow = 3.0 x (GPD) + (dev area x 250) + (drg area x 250)			
Design peak flow =		84,255	GPD
		3,511	GPH
		58.51	GPM
		0.130	CFS
PIPE	SLOPE	VELOCITY (FPS)	
MIN SLOPE	1.00%	2.44	
MAX SLOPE	3.53%	3.96	
8" SDR26 ID (IN)	7.754		
8" SDR26 ID (FT)	0.646		

8" SDR 26 SEWER 'B' - W/ 60 UNIT FLOW			
GPD	DEV AREA (SF)	DEV AREA (AC)	DRG AREA (AC)
18,540	399,049	9.161	9.161
Design peak flow = 3.0 x average daily flow + infiltration + inflow			
Design peak flow = 3.0 x (GPD) + (dev area x 250) + (drg area x 250)			
Design peak flow =		60,200	GPD
		2,508	GPH
		41.81	GPM
		0.093	CFS
PIPE	SLOPE	VELOCITY (FPS)	
MIN SLOPE	2.20%	2.83	
MAX SLOPE	4.00%	3.21	
8" SDR26 ID (IN)	7.754		
8" SDR26 ID (FT)	0.646		

8" SDR 26 SEWER 'D' - W/ 24 LOT FLOW			
GPD	DEV AREA (SF)	DEV AREA (AC)	DRG AREA (AC)
7,200	162,906	3.740	3.740
Design peak flow = 3.0 x average daily flow + infiltration + inflow			
Design peak flow = 3.0 x (GPD) + (dev area x 250) + (drg area x 250)			
Design peak flow =		23,470	GPD
		978	GPH
		16.30	GPM
		0.036	CFS
PIPE	SLOPE	VELOCITY (FPS)	
MIN SLOPE	0.72%	1.52	
8" SDR26 ID (IN)	7.754		
8" SDR26 ID (FT)	0.646		

Channel Report

15115 - SEWER 'A' - 96 UNITS, 1.0% SLOPE

Circular

Diameter (ft) = 0.65

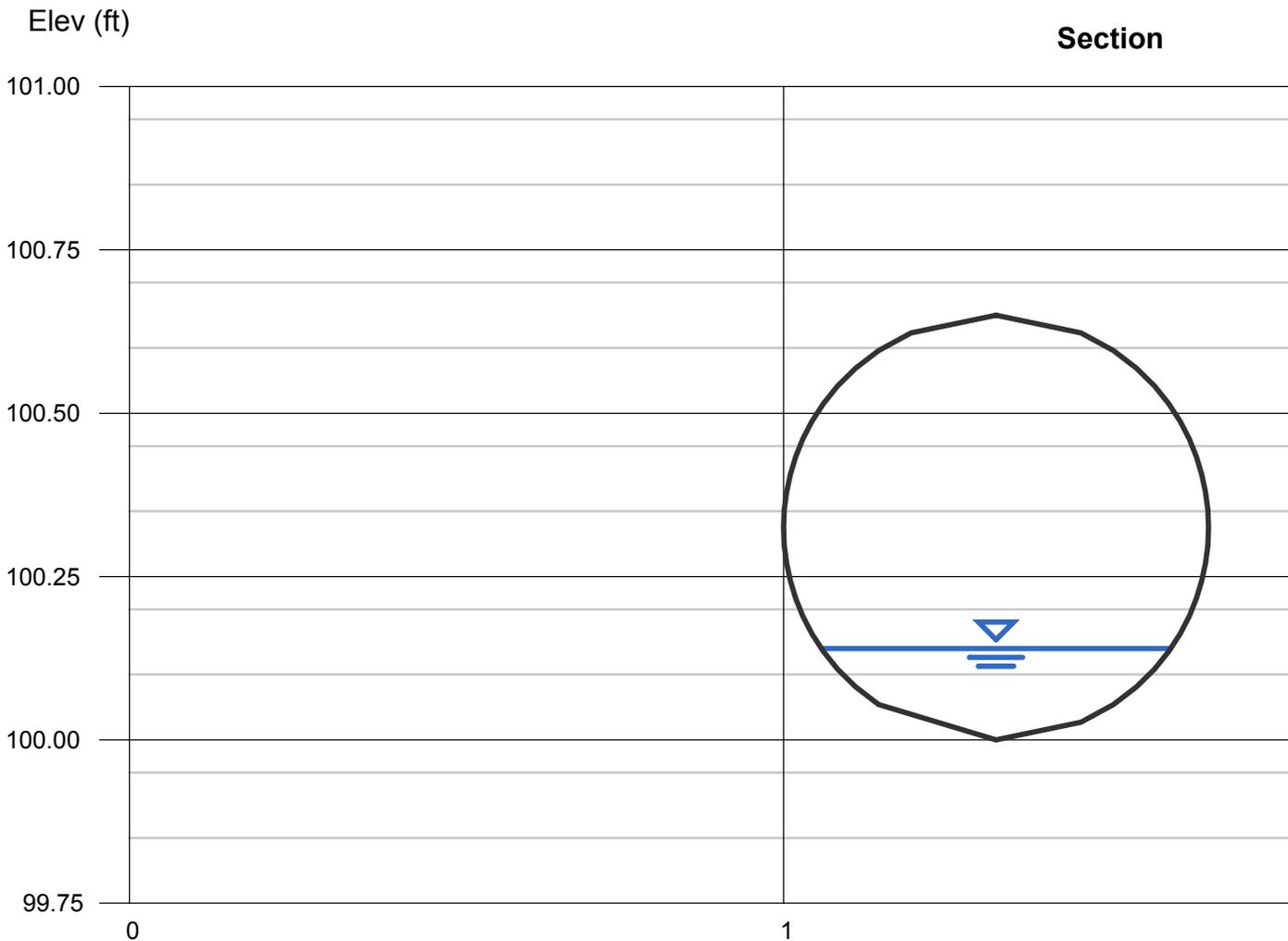
Invert Elev (ft) = 100.00
Slope (%) = 1.00
N-Value = 0.011

Highlighted

Depth (ft) = 0.14
Q (cfs) = 0.130
Area (sqft) = 0.05
Velocity (ft/s) = 2.44
Wetted Perim (ft) = 0.63
Crit Depth, Yc (ft) = 0.17
Top Width (ft) = 0.54
EGL (ft) = 0.23

Calculations

Compute by: Known Q
Known Q (cfs) = 0.13



Channel Report

15115 - SEWER 'A' - 96 UNITS, 3.53% SLOPE

Circular

Diameter (ft) = 0.65

Invert Elev (ft) = 100.00

Slope (%) = 3.53

N-Value = 0.011

Calculations

Compute by: Known Q

Known Q (cfs) = 0.13

Highlighted

Depth (ft) = 0.10

Q (cfs) = 0.130

Area (sqft) = 0.03

Velocity (ft/s) = 3.96

Wetted Perim (ft) = 0.53

Crit Depth, Yc (ft) = 0.17

Top Width (ft) = 0.47

EGL (ft) = 0.34



Channel Report

15115 - SEWER 'B' - 60 UNITS, 2.2% SLOPE

Circular

Diameter (ft) = 0.65

Invert Elev (ft) = 100.00

Slope (%) = 2.20

N-Value = 0.011

Calculations

Compute by: Known Q

Known Q (cfs) = 0.09

Highlighted

Depth (ft) = 0.10

Q (cfs) = 0.093

Area (sqft) = 0.03

Velocity (ft/s) = 2.83

Wetted Perim (ft) = 0.53

Crit Depth, Yc (ft) = 0.14

Top Width (ft) = 0.47

EGL (ft) = 0.22



Channel Report

15115 - SEWER 'B' - 60 UNITS, 4.0% SLOPE

Circular

Diameter (ft) = 0.65

Invert Elev (ft) = 100.00
Slope (%) = 4.00
N-Value = 0.011

Highlighted

Depth (ft) = 0.09
Q (cfs) = 0.090
Area (sqft) = 0.03
Velocity (ft/s) = 3.21
Wetted Perim (ft) = 0.50
Crit Depth, Yc (ft) = 0.14
Top Width (ft) = 0.45
EGL (ft) = 0.25

Calculations

Compute by: Known Q
Known Q (cfs) = 0.09



Channel Report

15115 - SEWER 'D' - 24 UNITS, 0.72% SLOPE

Circular

Diameter (ft) = 0.65

Invert Elev (ft) = 100.00

Slope (%) = 0.72

N-Value = 0.011

Calculations

Compute by: Known Q

Known Q (cfs) = 0.04

Highlighted

Depth (ft) = 0.08

Q (cfs) = 0.036

Area (sqft) = 0.02

Velocity (ft/s) = 1.52

Wetted Perim (ft) = 0.47

Crit Depth, Yc (ft) = 0.09

Top Width (ft) = 0.43

EGL (ft) = 0.12





September 28, 2015

Stott's Mill
Attn: John Petaisto
Sopris Engineering

RE: Stott's Mill
Basalt, Colorado

Please accept this letter as confirmation that Comcast of Colorado/Florida, Inc. has the ability to provide cable service to the captioned location. The provision of service is contingent upon successful negotiations of an Agreement between the developer and Comcast Cable Communications, Inc.

Should you require additional information, please contact Michael Johnson. I can be reached at (970) 930-4713 or by email at Michael_johnson@cable.comcast.com

Sincerely,

A handwritten signature in black ink that reads 'Michael Johnson'.

Michael Johnson
Construction/Engineering
Comcast Cable Communications

This letter is not intended to give rise to binding obligations for either party. Any contractual relationship between the parties will be the result of formal negotiations and will only become effective upon execution of the contract by representatives of the parties authorized to enter into such agreements. During any negotiations, each party will bear its own costs and will not be responsible for any costs or expenses of the other party, unless separately agreed to in writing.



3799 HIGHWAY 82 · P.O. DRAWER 2150
GLENWOOD SPRINGS, COLORADO 81602
(970) 945-5491 · FAX (970) 945-4081

September 28, 2015

RE: Stott's Mill P.U.D.

Dear Mr. Petaisto:

The above mentioned development is within the certificated service area of Holy Cross Energy.

Holy Cross Energy has existing power facilities located on or near the above mentioned project. These existing facilities have adequate capacity to provide electric power to the development, subject to the tariffs, rules and regulations on file. Any power line enlargements, relocations, and new extensions necessary to deliver adequate power to and within the development will be undertaken by Holy Cross Energy upon completion of appropriate contractual agreements and subject to necessary governmental approvals.

Please advise when you wish to proceed with the development of the electric system for this project.

Sincerely
HOLY CROSS ENERGY

Russ Winder
Staking Engineer

rwinder@holycross.com
(970) 947-5443



September 30, 2015

From: Todd Ellsworth
SourceGas
0096 County Rd. 160
Glenwood Springs, CO 81601
970-928-0407

To: John Petaisto
Project Manager
Sopris Engineering
502 Main St.
Carbondale, CO 81623

RE: Stott's Mill Site, Basalt, CO

Dear John:

The above mentioned development is within the certificated service area of SourceGas.

SourceGas has existing natural gas facilities located on or near the above mentioned project. At this time it appears that these existing facilities have adequate capacity to provide natural gas service to your project, subject to the tariffs, rules and regulations on file. Any upgrading of our facilities necessary to deliver adequate service to and within the development will be undertaken by SourceGas upon completion of appropriate contractual agreements and subject to necessary governmental approvals.

Please contact us with any questions regarding this project, and with a timeline of when you would like to proceed with your project.

Sincerely,

Todd Ellsworth
Supervisor



September 28, 2015

Jason Sharpe
Century Link, Senior Field Engineer
Jason.Sharpe@CenturyLink.com

RE: Stott's Mill Will Serve Request
Sopris Engineering, LLC Job No. 15115.01

Jason,

As part of the Town of Basalt's Subdivision process we are required to obtain a "Will Serve Letter" from each public utility provider. Please review the enclosed information for the Stott's Mill project, which is located on the east side of Southside Drive in Basalt, Colorado. We are requesting that you send a letter indicating that Century Link can and will provide telephone service to the proposed development.

I have include a preliminary Site Plan for Phase 1 of Stott's Mill. The proposed Stott's Mill PUD will be annexed and subdivided in the Town of Basalt. The development summary table for Phase 1 and Phase 2 is included on the site plan pdf. Sixty five (65) residential units are proposed in Phase1, with a maximum of 100 additional units proposed as a part of a future Phase 2 development. A total of 165 residential units are proposed at project build out. In addition to the residential units several acres are reserved for park use.

This site has gone through several previous development proposals in the last ten years. I similar residential project was previously proposed, and most recently the project was proposed as a senior housing project.

Please give me a call if you have any questions or need any additional information.

Sincerely,
SOPRIS ENGINEERING, LLC



John Petaisto, PE
Project Manager

502 Main Street • Suite A3 □ Carbondale, CO 81623 □ (970) 704-0311 □ Fax (970) 704-0313

SOPRIS ENGINEERING • LLC

civil consultants

VESTED RIGHTS AND PHASING FOR STOTT' S MILL

Actual proposal – short version

- Separate vesting time period for installation of infrastructure (up to five years).
- Once infrastructure installed– 10 years for build-out
- North Park done with the initial infrastructure
- South Park to be completed by issuance of building permit for 78th unit
78th

Vesting/Phasing Proposal. Written in “approval document format” (required by Planning Department)

Vested property rights are proposed in two separate time frames. First, a time period for installation of infrastructure; and 2) a separate time period related to residential build out and zoning once infrastructure is installed. The intent of the developer is to install physical infrastructure in one phase. This infrastructure will include deep utilities, shallow utilities, streets, sidewalks and right-of-way improvements at one time.

The developer proposes a five-year time period for the installation of the infrastructure. Time period begins with recording of approval documents. The developer intends to install infrastructure ASAP as long as there is a market for the development. The five year request is to allow a resurgence of the housing market in case there is a significant drop off (witness the Great Recession). In addition to the utilities and right-of-way improvements, North Park will be completed with the initial infrastructure. Completion of North Park is necessary for drainage and irrigation purposes. Once physical infrastructure and North Park are completed within the initial five-year time period, developer will have a 10 year time period for build-out of the project.

South Park may be included with the initial infrastructure development, but is not required to be completed until there is an application for building permit for the 78th dwelling unit (50% of the assumed 156 dwelling units). If the South Park is not completed by the request for the 78th dwelling unit, then no further building permit shall be issued unless the Town Council extends the vested rights period. Additionally, if the developer does not complete the physical infrastructure within the initial five-year vested rights period, the town reserves the ability to unilaterally rezone the property or change the allowable uses for the Stott's Mill Zoning (whether PUD or R-4 MD)



Know what's below.
 Call before you dig.
 811

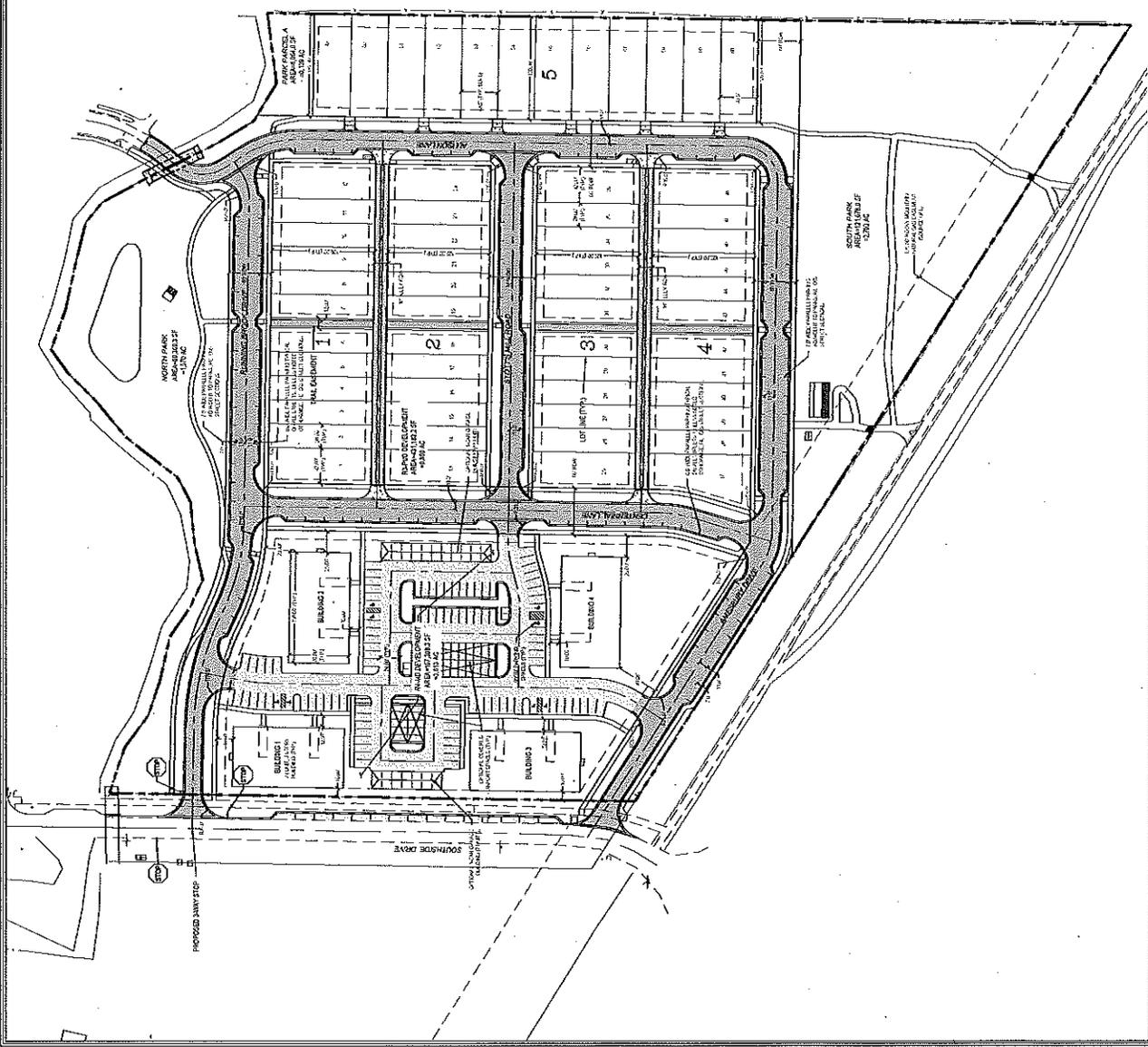


STOTT'S MILL DENSITY SUMMARY TABLE

STOTT'S MILL	DESCRIPTION	AREA (SF)	AREA (AC)	UNITS	UNIT TYPE	DENSITY (UNITS/AC)
PHASE 1	BLOCK 1	65,520	1.50	12	SINGLE FAMILY	11.50
	BLOCK 2	65,520	1.50	12	SINGLE FAMILY	11.50
	BLOCK 3	65,520	1.50	12	SINGLE FAMILY	11.50
	BLOCK 4	65,520	1.50	12	SINGLE FAMILY	11.50
	BLOCK 5	65,520	1.50	12	SINGLE FAMILY	11.50
PHASE 2	PHASE 2 TOTAL	327,600	7.50	60	PARKING/UNITES	8.00
	PHASE 2 TOTAL	327,600	7.50	60	PARKING/UNITES	8.00
TOTAL	TOTAL	393,120	9.00	72	PARKING/UNITES	8.00
	TOTAL	393,120	9.00	72	PARKING/UNITES	8.00

STOTT'S MILL PARKING SUMMARY TABLE

PHASE	UNITS	REQUIREMENTS	LOT	PARKING PROVIDED	TOTAL
PHASE 1	BLOCK 1	12	24	24	12
	BLOCK 2	12	24	24	12
	BLOCK 3	12	24	24	12
	BLOCK 4	12	24	24	12
	BLOCK 5	12	24	24	12
PHASE 2	PHASE 2 TOTAL	60	120	120	60
	PHASE 2 TOTAL	60	120	120	60
TOTAL	72	144	144	72	72



SOPIRS ENGINEERING, LLC
 CIVIL CONSULTANTS
 SOI MAJESTER
 CHAIRMAN & PRINCIPAL
 610 724-0313
 FAX 610 724-0313

NO.	REVISION	DATE
1	REVISED PER PROJECT COMMENTS	05-13-2018
2		
3		

DESIGNED BY	DATE
CHECKED BY	

June 13, 2016

James Lindt, Assistant Planning Director
Town of Basalt
101 Midland Avenue
Basalt, CO 81621

RE: Tennis Center in South Park of Stott's Mill

Dear James:

At your request, the Stott's Mill Design Team has reviewed the conceptual Tennis Center proposed by Advantage Indoor Tennis Courts (AD-IN). We were presented with the attached concept plan for South Park which features four covered tennis courts. We are also told that there would be an office for the Basalt Rec Director. At this time we are not sure if there are additional administrative offices proposed or not.

I met with Diana CordovaElliott and another member of her tennis group on May 27. We learned about the background of the tennis group and some of the recreation and tennis related issues facing the Town and the Mid Valley area. The Stott's Mill team then discussed the pros and cons of locating such a facility in South Park. Unfortunately, we cannot support the tennis center as proposed to be located in South Park. We feel the size overwhelms South Park and would prevent most other uses. It was also our opinion that such a large facility would overwhelm the parking for South Park and limit its use as a neighborhood gathering place. It is our goal that the park should be developed as an open space area that allows the residents to use the park in variety of ways as opposed to one specific use.

Please contact me if you wish to discuss this concept further. We do hope AD-IN finds an appropriate facility in the Mid -Valley but we feel the location within South Park is inappropriate.

Sincerely,

Mark Chain

Mark Chain

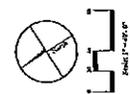
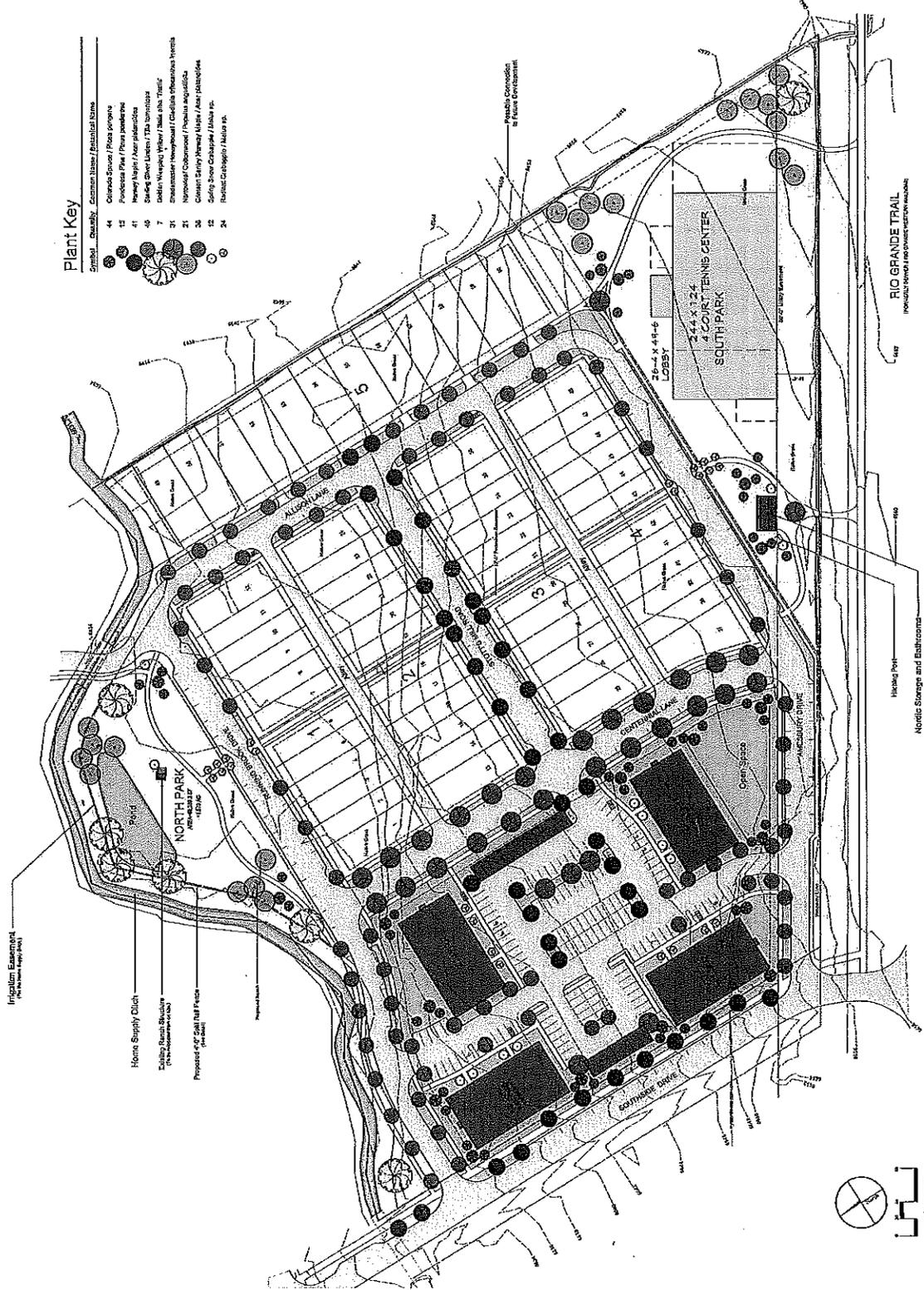


Conceptual Landscape Plan
 Stott's Mill P.U.D.
 Basalt, Colorado

Date: January 24, 2016
 Project: Stott's Mill P.U.D.
 Sheet: L-1

Plant Key

Symbol	Quantity	Common Name / Botanical Name
(Symbol 1)	44	Colorado Spruce / Picea pungens
(Symbol 2)	12	Scotch Pine / Pinus sylvestris
(Symbol 3)	4	Red Pine / Pinus resinosa
(Symbol 4)	45	Stinking Pine / Pinus pungens
(Symbol 5)	7	White Pine / Pinus strobus
(Symbol 6)	31	Colorado Blue Spruce / Picea canadensis
(Symbol 7)	35	Colorado Spruce / Picea canadensis
(Symbol 8)	32	Colorado Spruce / Picea canadensis
(Symbol 9)	24	Colorado Spruce / Picea canadensis



Referral Comments

James Lindt

From: Chris Lehrman <ChrisL@sgm-inc.com>
Sent: Friday, June 10, 2016 10:52 AM
To: James Lindt
Cc: Boyd Bierbaum
Subject: RE: Stott's Mill Application
Attachments: L 20080305 James Lindt.pdf

James,

Here are the quick comments. I would like more time to review the whole packet also I have included the review letter from 2008:

1. Snow storage and calculations need to be provided onsite.
2. Water sample stations shall be provided..
3. Waterlines shall be looped and stubbed out to property lines as necessary.
4. Phasing plans should be shown and looped waterlines should be installed in first phase.
5. Parking lots shall be private
6. Water rights dedication shall be required.
7. Developer shall contribute towards south side drive traffic improvements as outline in SGM report.
8. Drainage shall be provided onsite.
9. All light poles need a 110 volt receptacle at base
10. Crosswalks will need countersunk thermos plastic warnings

Thank you,

Chris Lehrman, PE
Project Manager

Celebrating



118 W. 6th St., Suite 200
Glenwood Springs, CO 81601
970.384.9043 / 970.379.9780 cell
www.sgm-inc.com



2015 Colorado Companies to Watch WINNER!



From: James Lindt [mailto:james.lindt@basalt.net]
Sent: Tuesday, June 07, 2016 1:51 PM
To: Chris Lehrman
Subject: Stott's Mill Application

Hi Chris,

Per our conversation, please find below a link to the Stott's Mill Application Submittal:

<http://co-basalt.civicplus.com/DocumentCenter/View/1772>

Please also find attached the revised cross-sections submitted by the Applicant's to address Bill Harding's concerns. The Applicants are developing a revised site plan in accordance with the revised cross-sections.



COMMUNITY DEVELOPMENT

May 2, 2016

James Lindt
Assistant Planning Director
Town of Basalt
101 Midland Avenue
Basalt, CO 81621
James.lindt@basalt.net

RE: *MSP 1 LLC Stotts Mill PUD & Sketch Plan*

Dear James,

At a worksession held on April 26, 2016, the Pitkin County Board of County Commissioners supported the following referral comments regarding the *Stotts Mill PUD Reinstatement & Extension & Sketch Plan* proposal for development of 156 residential dwelling units and parkland on 18 acres of land.

General Pitkin County generally supports the concept of the development, as it is located within the Town of Basalt’s Urban Growth Boundary, is consistent with Basalt’s Comprehensive Plan and adjacent to dense residential development. We recommend that any final annexation agreement be contingent upon site development review and approval, and a determination by the Town that the following issues can be satisfactorily resolved to address mitigation of anticipated impacts:

RFTA As the proposal is within relatively close proximity to a RFTA Park’n’Ride (1/2 mile,) we recommend that the applicant be required to provide some form of mitigation to RFTA to offset any increase in ridership resulting from new development. We also support any efforts on the part of the applicant to supplement mass transit as an alternative to the automobile with alternative modes of transportation, such as “We-Cycle.”

Traffic One hundred fifty six residences will generate traffic with impacts to the already congested Basalt Avenue, the Basalt Avenue/Highway 82 intersection and to Highway 82. The planned Basalt Avenue pedestrian underpass will improve safety issues associated with current pedestrian Highway crossing activity and allow for improved light timing and traffic flow on Highway 82, among other benefits. Nonetheless, traffic generation associated with 156 units will be significant. We recommend that the applicant be required to pay a pro-rata share to help fund improvements necessary to bring the intersection to a level of service that is functional; and for the pedestrian underpass.

On a broader scale, we are concerned about the cumulative impact of additional traffic generated by several development proposals in this mid-valley area. While some of the development proposals have merit, there is also a significant amount of approved, as-yet unbuilt development within the mid valley area from just below El Jebel to the intersections accessing the Town of Basalt. This section of Highway 82 is one of the most heavily used in the Roaring Fork Valley, and already appears to function at a diminished level of service during peak hours of traffic. Considering the potential cumulative impact of development on Highway 82 function, it would be beneficial to the Roaring Fork Valley as a whole, to consider development proposals within the context of a comprehensive CDOT analysis of Highway 82 capacity, including level of service at intersections and implications for traffic flow in the area from just below El Jebel to and including the Highway corridor at the entrances to Basalt.

Day-Care, School District Pitkin County recommends that the applicant be required to offset impacts to the RE-1 School District with mitigation commensurate with the number of school children that will be generated by the proposed increase in housing. As there is also a demonstrated need for day-care in this location (and throughout the Valley,) we support a requirement for the applicant to further mitigate the proposal's impact in the form of a fee or a facility to address daycare, as determined to be appropriate by the Town.

Deed Restricted Housing To compensate for the significant up-zoning from AR-10 in Pitkin County to PUD and R-4 in the Town, we recommend that the applicant be required at a minimum, to comply with Basalt's affordable housing mitigation requirement. In order to assure the longevity of affordable housing provided, we recommend that deed restrictions incorporate fees for capital reserve funds to be used for necessary upkeep and repairs.

Water & Energy Conservation Measures Given the large scale of this development proposal, it is incumbent upon the applicant to incorporate water and energy conservation measures into the subdivision/project design, construction and ongoing maintenance.

Rio Grande Trail Interface Please require the applicant to consult and coordinate with the Pitkin County Open Space and Trails (OST) Department to ensure that subdivision and park/open space design and layout interface positively with the adjacent Rio Grande Trail. (See OST comments under separate cover for specific recommendations.)

Please feel free to give a call if you have any questions regarding our comments.

Best



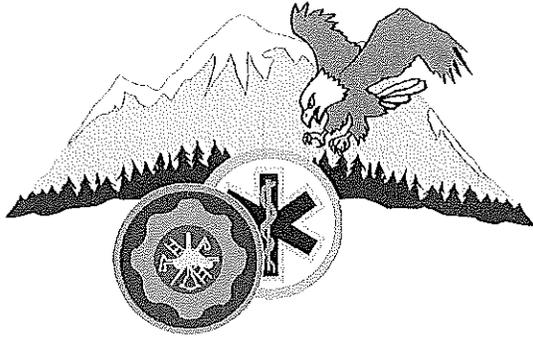
Ellen Sassano

Senior Long Range Planner

Pitkin County Community Development Department

970-920-5098

ellen.sassano@pitkincounty.com



Basalt & Rural Fire Protection District **“Protecting Our Community Since 1970”**

5-20-16

James Lindt, Asst. Town Planner
Town of Basalt Community Development
101 Midland Ave.

Re: Initial comments for Stott's Mill revision.

Dear James,

I offer this correspondence as a follow-up to our discussions and review of intermediary drawings given us by the applicant to provide direction. To make it clear this commentary does not imply any sort of approval as we are still awaiting revised substantiating documentation inclusive of new site, auto-tour and utility plans to review. We agreed that the revision plans need to be provided to the planning department and the fire district for review and comment prior to the first Planning and Zoning Commission meeting.

It is important to note as well that the South Side Tank is empty due to geological complications. The need for this tank, (including high risk occupancies), has been previously documented during the 1041 process as well as previous referrals inclusive of Stott's Mill. Because of the domestic consumption that a residential development of this type utilizes it will further seriously compromise already underserved water supplies. As such until the tank is fixed and operating the Fire District cannot approve of any building permitted construction and occupancy of Stott's Mill premises.

The drawings that were reviewed were Preliminary Street Sections rendered by Sopris Engineering 5-5-16 Job # 15115 Sheet C6.5 and Site Plan ... Parking Tables Sheet C21.

R4-MD Development Area:

The revision plan anticipates 4 apartment complexes in this section. All of these units shall have automatic fire sprinkler systems installed, further design details pending final document review as noted above). These buildings need to accommodate aerial access.

- It appears that Building 1 & 3 is already accommodated by placing the aerial apparatus on Southside Drive.
- Aerial access for Building 2 needs the road width on its south face widen to 26 feet and the proximity of the building to the street face can be no more than 30 feet. By narrowing the sidewalk from 12 feet to 10 feet would accomplish both of these objectives.
- Aerial access for Building 4 needs the road width on its north face widen to 26 feet and the proximity of the building face to the street front can be no more than 30 feet. By narrowing the sidewalk from 12 feet to 10 feet would accomplish both of these objectives.

1089 JW Drive, Carbondale, Co 81623
Phone:(970) 704-0675 • Fax: (970) 704-0625
www.basaltfire.org

- The right turn radius at the entry of this development area and Running Brook Dr. shall be 30'.

Single Family Residential Area-Intermediary Street Section and Site Plan Review:

We reviewed a street section plan the applicant wanted me to provide direction on. I offer the following.

- Running Book Drive Sections 1&2 – Both these street sections as rendered are acceptable. Radius needs to be a minimum of 30' as you head east at the entry of the R4-MD right turn and at the intersection of Running Brook and Centennial Lane.
- Stotts Mill Road Street Section needs to be widen 1 foot for a total of 35' Drive plus Parking Width. Radius at the southern corners of Stotts Mill Road need to be 30 feet.
- Amesbury Drive Street Section is ok.
- Centennial Lane Street Section needs to be widen 1 foot for a total of 35' Drive plus Parking Width.
- Allison Lane Street Section is ok.

If I can be of further assistance as we go through this review process please contact me at your convenience. In the meantime I will anticipate further review and comment of the applicant's revision as it comes to fruition.

Sincerely,

Bill Harding, Fire Marshal
Cc: Scott Thompson et al, Fire Chief
Jim Wilson, Chief Building Official
Boyd Bierbaum, Public Works
Chris Lehrman, SGM Engineering
Mark Chain, Planner
Yanci Nichols et al, Sopris Engineering

James Lindt

From: Susan Philp
Sent: Wednesday, June 29, 2016 1:14 PM
To: James Lindt
Subject: FW: Stotts Mill
Attachments: Rio Grande Trailhead Design Concepts.pdf; LOU final 3-14-11.pdf

I didn't realize you weren't copied. Susan

Susan Philp AICP
Basalt Planning Director
101 Midland Ave.
Basalt, CO 81621
970-927-4701, ext 204
susan.philp@basalt.net

From: David Johnson [<mailto:djohnson@rfta.com>]
Sent: Thursday, June 23, 2016 10:48 AM
To: Susan Philp
Cc: Dan Blankenship; Jason White; Mike Hermes; Angela Henderson; Brett Meredith
Subject: Stotts Mill

Susan:

I understand that this project will be presented to the P&Z soon, and that the timing of our comments may not be optimal. We would like to discuss the project with you at some point. I offer the following informal comments to streamline our eventual conversation:

- The LOU attached should be reviewed and revised with RFTA and the applicant should enter into a license agreement with RFTA based on the information outlined in the LOU prior to recording a Master Plat and SIA. I believe this is consistent with what is proposed in the application. Trails Manager Brett Meredith wishes to meet with the appropriate person regarding South Park and the trail connections, prior to final design and construction.
- The Applicant should erect the proposed pole and rail fence between the RGT ROW and the SM property prior to commencing construction activities on the entire site
- The applicant should submit trail sign plans for the intersection of the sidewalks/trails in South Park to the RGT for RFTA review and approval
- Basalt POST is asking for trail head improvements (from Pitkin County) at the high school. See the attachment for a draft of the trail head improvements. Perhaps the trail head improvements can get absorbed into South Park within Stott's Mill?
- A transportation impact analysis is not included with the application on Basalt's web site. Stott's Mill is located within about ½-mile of RFTA's Basalt BRT station, and trip generation from this roughly 150-unit development will likely result in increased use of RFTA buses, the BRT station, and the nascent Basalt Avenue pedestrian crossing. RFTA has not attempted to forecast the number of new transit trips. RFTA has reached capacity on fleet and personnel particularly during AM and PM peak hours. This new development will create transportation impacts that RFTA and Town of Basalt must bear.

David Johnson, AICP

Director of Planning

Roaring Fork Transportation Authority

1340 Main Street, Carbondale, CO 81623

970.384.4979 (phone), 970.376.4492 (mobile)

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MEMORANDUM

To: Chairman Johns and Basalt Planning and Zoning Commission

Thru: Susan Philp, AICP Planning Director

From: James Lindt, AICP Assistant Planning Director

Date: July 5, 2016

RE: Public Hearing- 309 E. Sopris Drive Rezoning to R-3 TN and Special Review for an Accessory Dwelling Unit (ADU)- Continued from June 21st

I. Purpose

Kai Peterson ("Applicant") is requesting approval of a Rezoning application to R-3 TN and a Special Review to construct a new single-family residence at 309 E. Sopris Drive and deed-restrict the existing residence on the site as an ADU.

II. Background

The property at 309 E. Sopris Drive contains an existing residence of approximately 840 square feet. The property is currently zoned R-3, but is proposed to be rezoned to R-3 TN to accommodate the proposed ADU. A zoning interpretation was provided in 2008 (attached in the prior packet) and subsequently updated (update attached in prior packet) indicating that the Applicant could construct an attached addition onto the existing residence, but that it could not contain a second kitchen unless the Applicant rezoned the property to R-3 TN and obtained Special Review approval for an ADU. An ADU is a Special Review Use in the proposed R-3 TN Zone District on properties that contain greater than 8,000 square feet. The intent of the interpretation was to clarify the Property Owner's options for preserving the existing residence that was built around 1907.

The Applicant desires to include a second kitchen on the site in the proposed addition and has requested the rezoning to R-3 TN and Special Review approval to convert the existing residence to an ADU and make the addition to the residence the primary residential unit on the site. The new unit is proposed to be approximately 1,760 square feet.

At the June 21st meeting, the P&Z heard a presentation of the proposal and discussion items by Staff, considered Applicant and public comments and provided P&Z discussion. Ultimately, the P&Z continued the public hearing to July 5th. The P&Z heard concerns from immediate neighbors about the traffic and parking related to the proposed ADU and the construction management plan and timeline. The majority of the

P&Z expressed that they shared the neighbor's concerns. In response to the P&Z's concerns, the Applicant has provided a revised construction management plan with more details as well as a construction schedule. Additionally, the Applicant has provided an additional permanent parking space on the south end of the proposed addition and also agreed to including a provision that there be a rental agreement limiting the renter of the ADU to one vehicle.

III. Review Process

The P&Z makes a recommendation to the Town Council on the Rezoning and Special Review requests for the ADU pursuant to Town Code Section 16-267, *Amendment Procedure*, and 16-44, *Special Review Application Approval Procedures*.

IV. Discussion Items

In addition to the discussion items that were included in the packet for the June 21st meeting, Staff has included the following discussion regarding the Applicant's addendum materials:

Additional Permanent Parking:

As noted above, the Applicant has proposed to add an additional parking space to the site permanently as shown on the attached site plan in response to the concerns about parking of cars in the access easement. Also as noted, the Applicant has proposed to include in the ADU rental agreement, a maximum of one vehicle for rental of the ADU. Staff has included the additional parking space and the vehicle maximum in the rental agreement as a condition of approval (Condition No. 4).

Construction Management and Parking:

The Applicant has proposed a more detailed construction management plan. It includes the following:

- Construction fencing with screening on the west side of the driveway
- No parking signs on the fence
- Additional staging and parking area to the south of the proposed addition
- Area for dumpster
- Buffer area where no construction activities shall occur
- Compliance with the Town building regulations related to construction hours and construction noise

Staff has added draft conditions of approval (Condition No. 8) to reinforce compliance with above construction management provisions. The Planning Staff believes that there is potential for better enforcement of the construction management plan on a project that has been reviewed through the development review process instead of a project that just requires a building permit (as was the case with the residence that was constructed across the access drive that was mentioned at the last meeting).

The Applicant has also indicated that there is potential for a significant addition to occur regardless of whether the Special Review for an ADU is granted. Staff concurs with the Applicant's suggestion that there is potential for an addition of 2,400 square feet without the Special Review approval and Staff is of the opinion that the development review allows the Staff to better ensure the construction impacts are mitigated than if the Applicant simply built an addition to the existing residence through the building permit process. Staff notes that the Applicant could rent out a portion of the addition discussed above without an ADU approval.

Construction Schedule:

In response to the concerns of the neighbors and the P&Z that the construction might drag on for an extended period of time, the Applicant has proposed a construction schedule (see attached addendum) that identifies a nine (9) month construction timeline, half of which is identified as interior work. An option for encouraging the Applicant to complete the construction in an expedited timeline is to require an increased construction deposit that the Applicant does not get back until a Certificate of Occupancy is issued.

Staff has included a condition (Condition No. 12) requiring the Applicant to post a construction deposit of twice the normal amount for a total of an \$8,000 deposit that the Applicant does not get back until a certificate of occupancy is issued.

V. Recommendation

Staff recommends that the P&Z hear further discussion from Staff and the Applicant, consider public comments, and provide Commission discussion. Staff recommends approval, with the following conditions:

Representations:

1. The Applicant shall comply with all representations set forth in the Application.
2. The Applicant shall comply with all material representations made in hearings before the Planning and Zoning Commission and Town Council.

Common Driveway No Parking Signage:

3. The Applicant shall install "no parking" signs in the common driveway in locations approved by the Town Police Chief prior to the issuance of a building permit on the proposed residence.

Parking:

4. Four (4) off-street parking spaces shall be provided as shown on the site plan dated 6/26/16. Additionally, the Applicant shall include in the rental lease

agreement for the ADU a requirement that the individual renting the ADU and their guests cannot have more than one vehicle on the site at a time.

Pedestrian Path:

5. The Applicant shall install a four (4) foot wide crusher fine path along the western lot line of the subject property for the length of the property and dedicate a public pedestrian access easement to allow for the public to safely walk to the south end of the common driveway. The path shall be installed prior to the issuance of a certificate of occupancy on the new residence. Additionally, the pedestrian access easement shall be executed and recorded prior to the issuance of a building permit on the new residence.

Additionally, the Applicant shall dedicate a four (4) foot wide public pedestrian access easement along the southern lot line for the width of the property. The pedestrian access easement shall be executed and recorded prior to the issuance of a building permit on the new residence.

Non-Conforming Shed:

6. The Applicant shall alter and move the shed or remove it to bring it into compliance with the Town Code requirements prior to the issuance of a building permit on the new residence.

Construction Fence:

7. The Applicant shall install a six (6) foot tall construction fence on the 309 E. Sopris Drive property along the common driveway prior to commencing construction. The Applicant shall obtain a fence permit prior to installing the fence. The fence shall start at the northernmost wall of the new residence and run south to the southernmost property line. The final location of the fence shall be approved by the Town Planner.

Construction Management Plan:

8. The Applicant shall comply with the final construction management plan submitted on 6/26/16, including the additional on-site construction parking shown on the revised construction management plan. Additionally, the Applicant shall comply with the allowable construction hours as established in the Town Code. The Applicant shall provide a copy of the approved construction management plan to neighbors with contact information for the general contractor prior to commencing construction. In the event that the Applicant is determined to be out of compliance with terms and conditions of the Construction Management Plan or the Town's Building Regulations, the

Town shall notify the Applicant of the violation. Recurring violations will result in a citation into Municipal Court and fines.

Fire District Comments:

9. The Applicant shall demonstrate compliance with Basalt and Rural Fire Protection District's comments dated February 24, 2016, prior to the issuance of a certificate of occupancy on the new residential unit.

Basalt Sanitation District Comments:

10. The Applicant shall demonstrate compliance with Basalt Sanitation District's rules and regulations prior to the issuance of a building permit, including the payment of fees for an additional EQR.

Development and Building Fees:

11. The Applicant shall pay all applicable development review fees on the new residence, as calculated by the Town Planner, prior to building permit issuance, (including the payment of parkland dedication and school land dedication fees). The Applicant shall also pay all applicable building permit fees as calculated by the Town Building Official prior to building permit issuance.
12. The Applicant shall post a construction deposit of twice the standard construction deposit totaling \$8,000 prior to the issuance of a building permit. The construction deposit shall not be returned until the issuance of a certificate of occupancy as an encouragement to complete the construction of the project in a timely manner.

Approval Documents:

13. The Applicant shall prepare a site plan and draft deed restriction for review and approval by the Town Planner and Town Attorney. The site plan shall be recorded at the Eagle County Clerk and Recorder's Office prior to the issuance of a building permit. The ADU deed restriction designating that one of the two units on the site will be resident-occupied and that the existing house will be the ADU shall be recorded at the Eagle County Clerk and Recorder's Office prior to the issuance of a certificate of occupancy on the new residence.
14. The Applicant shall prepare and submit any additional approval documents deemed necessary by the Town Planner and Town Attorney to effectuate the intent of the approvals. Any such documents shall be executed and recorded

prior to the earlier of the issuance of a building permit or 180 days after the effective date of the final approval ordinance.

Vested Rights:

15. Vested property rights shall be granted as approved herein for a period of three (3) years from the effective date of the ordinance approving these land use requests. The Applicant may request an extension of vested rights pursuant to the process for extending vested rights as established in the Town Code. If a building permit for the new residential unit is not issued within the three (3) year vested rights period or as it may be extended, the approvals granted for this amendment shall expire.

Insubstantial Amendments:

16. The Town Planner may review and approve minor amendments to this approval to effectuate the intent of the final development approvals. The Applicant shall have the ability to appeal a Town Planner's decision on a minor amendment to the Town Council pursuant to the appeals process established in Town Code Section 16-11, *Procedures for Code Interpretations and Appeals*.

Attachments:

Application Addendum

Application Addendum

Addendum to Kai Peterson Special Review for Rezoning and ADU at 309 E. Sopris Dr.

In response to concerns regarding the application pertaining to construction impacts we have added further concessions that will ease the specific concerns of parking, project duration and impacts on neighbors.

Construction impacts will be addressed by strict adherence to the Town of Basalt building regulations, especially impacts of noise, debris and vehicles.

Other safeguards include:

- Construction fencing with screening on west side of driveway.
- No parking signs on fence along driveway.
- Construction timeline.
- Site visit by town staff to visualize extensive staging/parking/dumpster area.
- Special review process allows Town more oversight on project impacts.

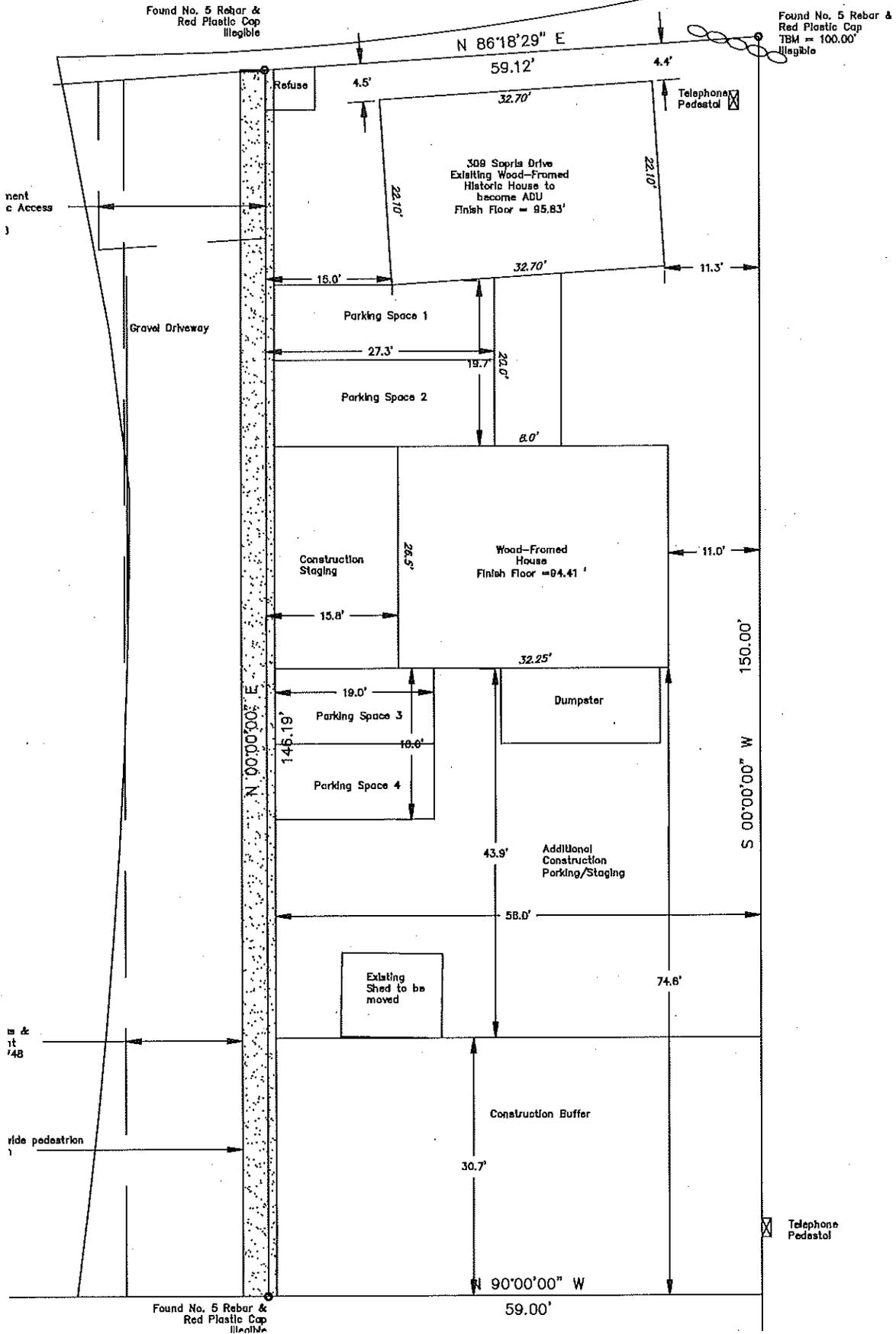
In response to concerns regarding the impact of an ADU on the neighborhood we have agreed to include a 4' pedestrian easement on west side of our property to ensure safe access on shared driveway. In addition to the required 3 parking spots required by Town Code for our project we have included an additional parking spot to ease parking concerns.

Also, it should be noted that we are asking for 1,760 square feet of expansion while the FAR allows us up to 2,400 square feet of expansion.

309 E. Sopris Drive Project Timeline

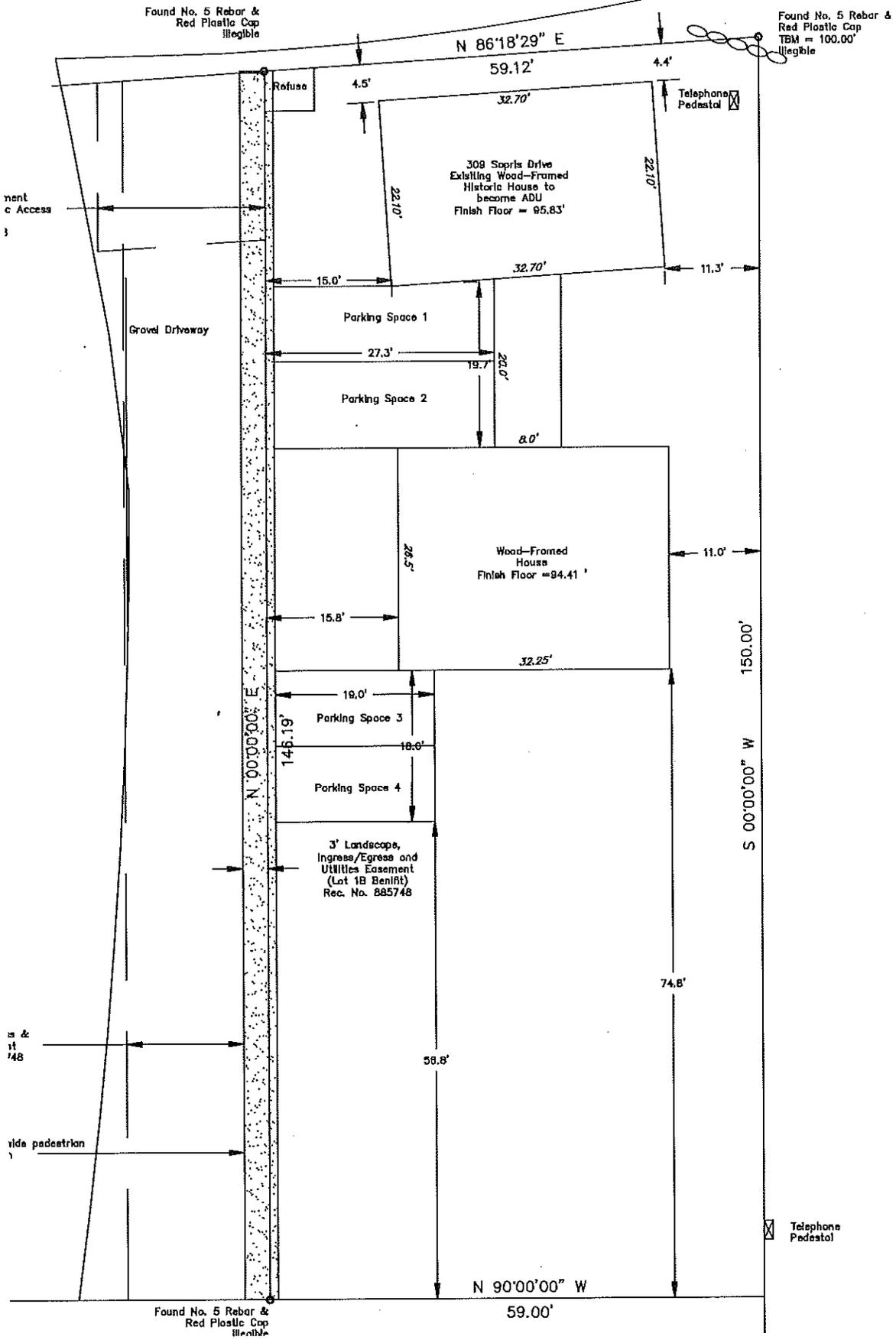
<u>Activity</u>	<u>Start Date</u>	<u>Completion Date</u>
Deck demo	8/1/2016	8/2/2016
Excavation/Utilities	8/2	8/9
Footing	8/10	8/15
Concrete walls	8/15	8/29
Framing	8/30	10/1
Landscaping	8/30	9/10
Siding/windows	10/2	10/22
Roof	10/24	11/14
Plumbing	11/17	12/1
Electrical	12/1	12/23
Drywall	1/2	2/2
Painting interior	2/3	2/14
Interior finishes	2/14	3/21
Final plumbing	3/20	4/5
Final electric	4/5	4/20
Appliances	4/23	5/2

Certificate of occupancy within 12 month limit of Town Regulations.



Revised Site Plan

Sopris Drive
 REC. 6/26/16



MEMORANDUM

To: Chairman Johns and Basalt Planning and Zoning Commission
Thru: Susan Philp, AICP Planning Director
From: James Lindt, AICP Assistant Planning Director
Date: June 21, 2016
RE: Public Hearing- Roaring Fork Club Suites PUD Amendment to Add Kitchens

I. Purpose

The Roaring Fork Club Suites Association ("Applicant") is requesting approval of a PUD Amendment to install kitchen facilities in the ten (10) Roaring Fork Club Suites do not currently have full kitchens.

II. Background

The property subject to the Application is the Roaring Fork Club suites that are located at the Roaring Fork Club Lodge off of Arbaney Ranch Road on the north side of Highway 82. The twelve (12) suites were originally built without full kitchens. The Town Technical Review Committee (TRC) approved the inclusion of kitchens in two (2) of the suites in 2004 pursuant to TRC Certificate No. 8, Series of 2004 (attached). The TRC Certificate indicated that if kitchens were proposed in more than the two (2) suites, that a PUD amendment approval would be required by the Town Council.

The Roaring Fork Club has requested the PUD amendment to allow for the kitchens in the remaining ten (10) suites, but have indicated that they will still act as short-term rentals. The request for the kitchen facilities is being made by the Applicant because kitchen facilities have been requested as amenities by many of the visitors of the suites.

III. Review Process

The P&Z makes a recommendation to the Town Council on a Minor PUD Amendment pursuant to Town Code Section 16-65(d)(6), *Planned Unit Development: Effect of Approval*.

IV. Discussion Items

Consistency with Intent of Original Approvals: The suites have been for short-term occupancy since their inception. The Applicant has indicated that the use of the units

for short-term occupancy is not proposed to change as a result of adding the kitchen facilities. The language from the original Roaring Fork Club PUD related to the occupancy of the Club Suites is as follows:

“The Club Suites shall not be converted into noncommercial residential units and the term of occupancy for the Club Suites shall limited to 180 days per calendar year. Club Suites shall not be owned, sold or resold as whole ownership residential units..... The Applicant shall use its best reasonable efforts to maximize occupancy of the Club Suites, and to market the units fractional ownership interests.”

Staff feels that the clientele to which the suites are marketed and that stay in suites will still go to use Basalt restaurants a considerable amount even though they might have a kitchen in their suite. Staff believes the units will still be occupied in much the same capacity as they are currently.

Parkland Dedication Requirements: When two (2) of the suites were permitted to have kitchens in 2004, they were required to make some parkland improvements to meet the parkland dedication requirements in the Town Code. Technically, the addition of kitchen facilities makes the units residential in use pursuant to the Town Code and triggers the parkland dedication requirements. However, these units are somewhat of a hybrid between a hotel unit and a residential unit as they are available short-term to the members of the Roaring Fork Club. Staff has included a draft condition of approval requiring that the Applicant either make some parkland improvements to be approved by the TRC or pay half of the current fee in-lieu of parkland dedication prior to the issuance of building permits to add kitchens to the suites. Justification for a 50% waiver on the parkland dedication is that the units are a hybrid between a hotel unit and a residential unit and will not have as great an impact on the Town parks as a full residential unit.

School Land Dedication Requirements: School Land Dedication fees were paid when the Club Suites were built. Therefore, the draft conditions do not require payment of additional School Land Dedication fees.

V. Technical Issues:

Fire District Requirements:

The Basalt and Rural Fire Protection District (BRFPD) reviewed the proposed application. BRFPD indicated that there is adequate fire access and has indicated that the Applicant may need to make changes to the fire sprinkler system in the suites to accommodate the kitchen facilities. This has been included as a condition of approval.

VI. Recommendation

Staff recommends that the P&Z hear a brief presentation from Staff and the Applicant, consider public comments, and provide Commission discussion. Staff recommends approval, with the following conditions:

Representations:

1. The Applicant shall comply with all representations set forth in the Application.
2. The Applicant shall comply with all material representations made in hearings before the Planning and Zoning Commission and Town Council.

Renovation:

3. The Applicant shall apply for and obtain a building permit to add the kitchen facilities.

Fire District Comments:

4. The Applicant shall demonstrate compliance with Basalt and Rural Fire Protection District's comments dated April 19, 2016, prior to the issuance of a certificate of occupancy on the units.

Basalt Sanitation District Comments:

5. The Applicant shall demonstrate compliance with Basalt Sanitation District's comments prior to the issuance of a building permit.

Fees:

6. The Applicant shall pay all applicable development review fees as calculated by the Town Planner prior to building permit issuance. The Applicants shall also pay all applicable building permit fees as calculated by the Town Building Official prior to building permit issuance. The Applicant may propose and implement a park improvement plan in lieu of paying parkland dedication fees, if the plan is approved by the TRC. The parkland dedication requirement for the Club Suites shall be half of the parkland dedication fee requirement in the Town Code at the time the Applicant obtains building permits to install the kitchen facilities.
7. The Applicant shall not be required to pay additional School Land Dedication fees as School Land Dedication fees were paid when the Club Suites were originally built.

Approval Documents:

8. The Applicant shall continue to comply with the approvals granted in the Roaring Fork Club PUD except as amended herein and shall comply with any applicable Town Ordinances.
9. The Applicant shall prepare and submit any approval documents deemed necessary by the Town Planner and Town Attorney for review and approval. Any such documents shall be executed and recorded prior to the earlier of the issuance of a building permit or 180 days after the effective date of the final approval ordinance.

Vested Rights:

10. Vested property rights shall be granted as approved herein for a period of three (3) years from the effective date of the ordinance approving these land use requests. The Applicants may request an extension of vested rights pursuant to the process for extending vested rights as established in the Town Code. If a building permit to renovate the units to include kitchens is not issued within the three (3) year vested rights period or as it may be extended, the approvals granted for this amendment shall expire.

Insubstantial Amendments:

11. The Town Planner may review and approve minor amendments to this approval to effectuate the intent of the final development approvals. The Applicants shall have the ability to appeal a Town Planner's decision on a minor amendment to the Town Council pursuant to the appeals process established in Town Code Section 16-11, *Procedures for Code Interpretations and Appeals*.

Attachments:

- Application
- Referral Comments

To be filled out by the Town

Filed: ___/___/___
Application Fee: _____
Review Fee: _____
Total Payment Received: _____
Current Reimbursement Agreement: _____

Town of Basalt

Development Application

The Following Must Be Provided Unless the Town Planner Gives Permission to Omit Answer:

TYPE OF APPLICATION FILED: ___ Annexation ___ Rezoning ___ ESA
Environmental ___ ESA Floodplain ___ Regular Rezoning ___ Special Review
___ Special Review for Off-Street Parking ___ Variance ___ Minor Subdivision
___ Minor Subdivision Condominimization

___ Major Subdivision or Replat ___ Planned Unit Development
___ Sketch Plan ___ Sketch Plan
___ Preliminary Plat ___ Master Plan
___ Final Plat ___ Preliminary Development Plan
___ Final Development Plan
___ TRC Administrative Amendment

Other type of Application ___ Minor PUD Amendment

Brief description of project: ___ Kitchen remodel of RFC suites. Ten of the twelve units (2 are already done). Adding a larger fridge, two burner cooktop and upgraded appliances. _____

Contact Information

Name of Applicant(s): ___
RoaringFork Club Suite Association _____
Phone number _970-927-6042_____
Fax number ___ 970-927-4101_____
E mail (if available) ___ tbruna@rfclub.com _____
Address ___ 100 Arbaney Ranch Rd., Basalt, CO 81621__

Name of Owner(s): ___ SAA _____
Phone number _____
Fax number _____
E mail (if available) _____
Address _____

Name of Owner's Representative: _____ Teri Bruna _____
Phone number _____ 970-927-6042 _____
Fax number _____ 970-927-4101 _____
E mail (if available) _____ tbruna@rfclub.com _____

Please attach owner's authorization.

Name of Engineer or Surveyor: _____ N/A _____
Phone number _____
Fax number _____
E mail (if available) _____

Name of Architect or Planner: _____
Thurston Kitchen-Mike Scott _____
Phone number _____ 970-925-8579 _____
Fax number _____ 970-925-7658 _____
E mail (if available) _____ mscott@thurstoninc.com _____

Information on Existing Conditions

Existing Zoning: _____ x _____ Proposed Zoning: _____
Total square feet or acreage in application _____ 750 per unit _____

Information on Proposed Development

Total number of dwelling units: _____ 10 _____ Number of bedrooms: _____ 1 _____
Total floor area: _____ 750 sq. ft per unit _____
Proposed gross floor area by use (non-residential development only): _____

Area of open space to be provided: _____

Legal Description

Legal Description of property (attach if necessary): _____ see
attached. _____

Reception No. of Deed: _____

Legal description:

Lot 2, Block 1, Roaring Fork Club PUD, according to the Third Amended Plat of the Roaring Fork Club PUD recorded January 29, 2001 in the records of the Clerk and Recorder of Pitkin County in Plat Book 56 at Page 54 as Reception No. 450990.

CABINETRY

Manufacturer: Hallmark

Doorstyle:

Wood Specie:

Finish:

Case: Frameless, Birch Plywood

Drawerbox: Maple Dovetail

Drawer Guide: Blumotion Full-Extension

Door Hinge: Blum w/ Softclose

APPLIANCES

Refrigerator:

Microwave:

Induction Cooktop:

Dishwasher:

Compact Waser:

Compact Dryer:

PLUMBING

Sinks:

Faucets:

HARDWARE

Doors:

Drawers:

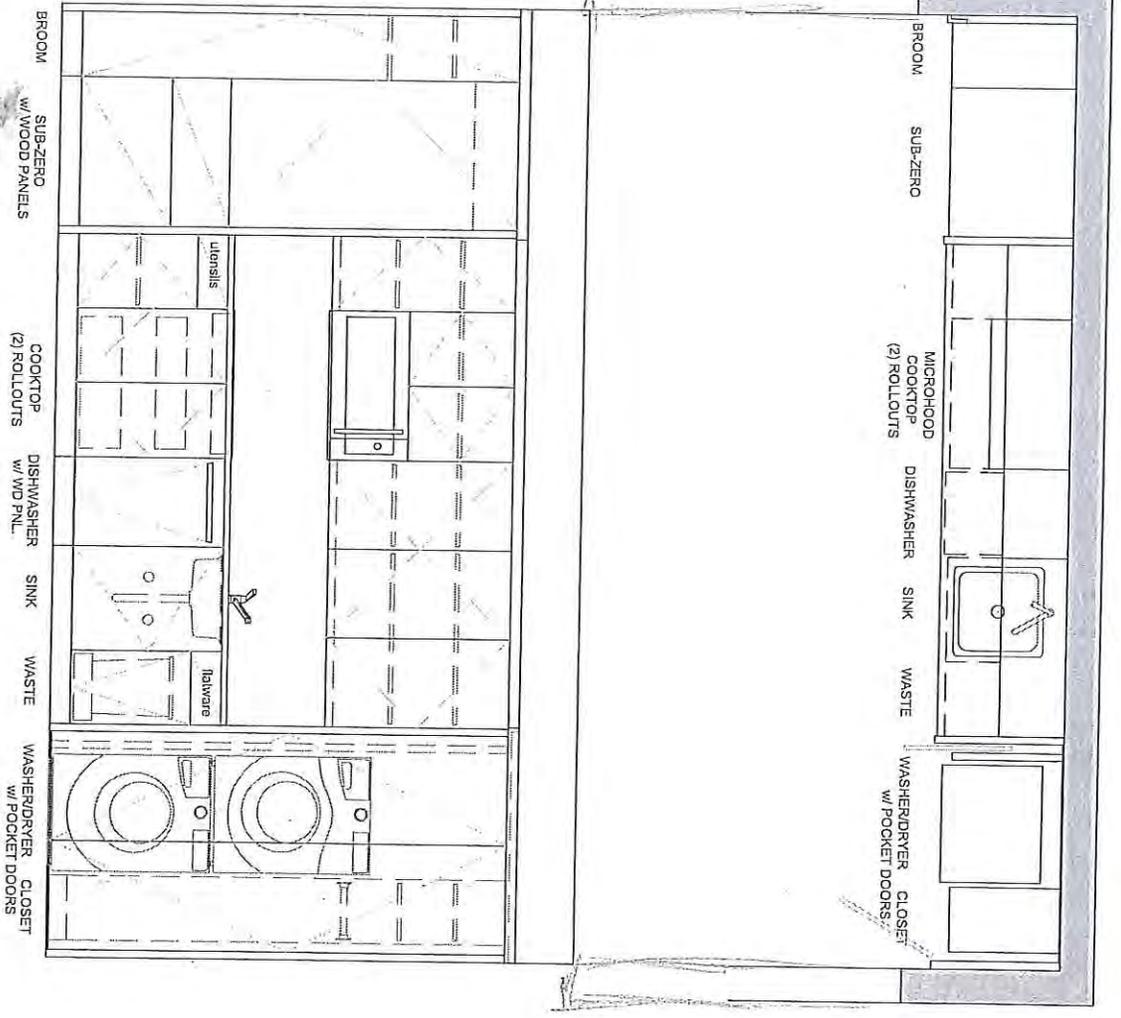
COUNTERTOP

Material:

Thickness: 3cm (1.25")

Profile:

A kitchenette
SCALE: 1/2" = 1'-0"



THIS DRAWING IS THE EXCLUSIVE PROPERTY OF: **thurston inc.**
National Kitchen and Bath Association

Agreed to on 03/18/11
3100 E. 1st Ave. Suite 100
Denver, CO 80232
303.733.1111
3175 Ardenway Avenue, Suite 200
Denver, CO 80231
303.733.1111
3440 Greenwood Drive, Suite 100
Denver, CO 80237
303.733.1111
3100 E. 1st Ave. Suite 100
Denver, CO 80232
303.733.1111
3175 Ardenway Avenue, Suite 200
Denver, CO 80231
303.733.1111
3440 Greenwood Drive, Suite 100
Denver, CO 80237
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012 JUN 2015

by MICHAEL SCOTT for
THE ROARING FORK CLUB
Guest Suites
100 Arbaney Ranch Rd
Basalt, CO
AUTHORIZED BY: _____

PAGE: 1

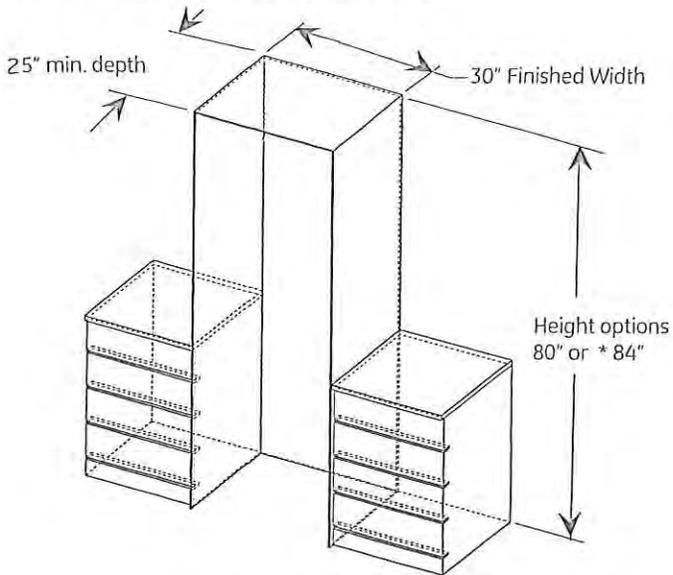
ZIC30GNHII/ZIK30GNHII

GE Monogram® 30" Fully Integrated Customizable Refrigerators for Dual Installation

Dimensions and Installation Information (in inches)

The Installation Space

The finished cutout width must be 30".



The cutout depth must be 25" for flush installations.

- The front face of the refrigerator fits flush with 25" depth adjacent cabinets.

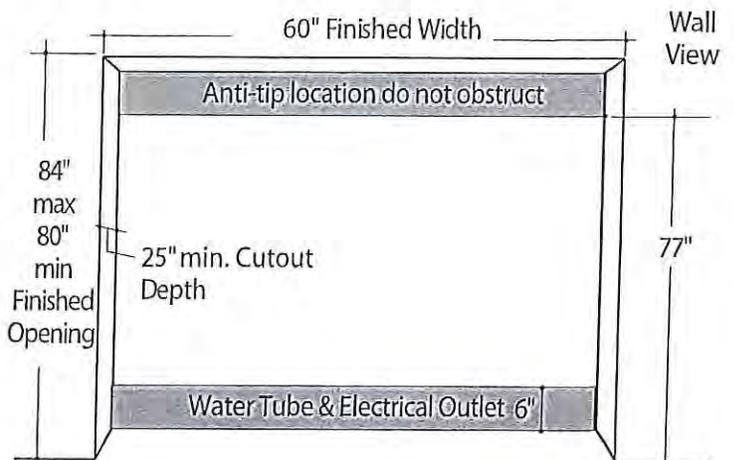
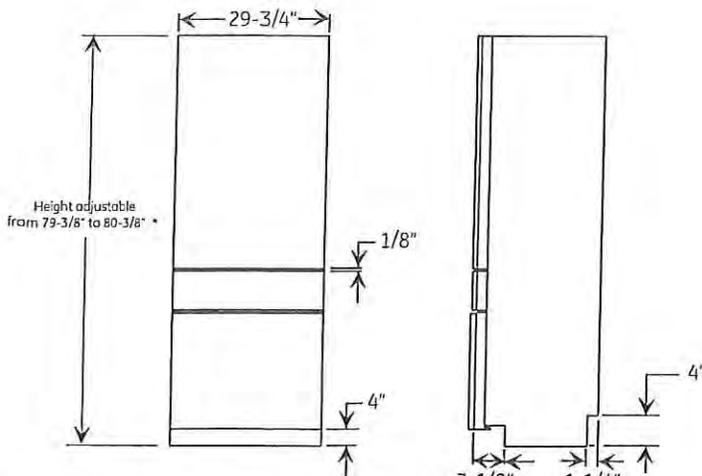
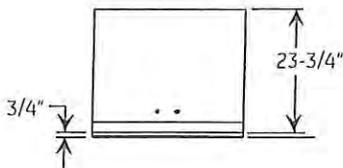
Electrical

A 115V, 60Hz., 15 or 20 amp power supply is required. An individual properly grounded branch circuit or circuit breaker is recommended. Install a properly grounded 3-prong electrical receptacle recessed into the back wall. Electrical must be located on rear wall as shown.

Note: GFI (ground fault interrupter) is not recommended.

Water Line

- A cold water supply is required for automatic icemaker operation. The water pressure must be between 40 and 120 p.s.i.
- Route 1/4" OD copper or GE SmartConnect™ plastic tubing between the house cold water line and the water connection location.
- Tubing should be long enough to extend to the front of the refrigerator. Allow enough tubing to accommodate a bend leading into the water line connection.
- Water line can enter an opening through the floor or back wall.
- Install a shut-off valve between the icemaker water valve and cold water supply in the home.



Note: When two units are placed side by side, order heater kit ZUG30.

For answers to your Monogram,® Cafe™ Series, Profile™ Series or GE® appliance questions, visit our website at geappliances.com or call GE Answer Center® service, 800.626.2000.



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ZIC30GNHII/ZIK30GNHII

GE Monogram® 30" Fully Integrated Customizable Refrigerators for Dual Installation

Dimensions and Installation Information (in inches)

Customization Basics:

These refrigerators are factory set for a right hinged door swing. The door swing is reversible. Choose an RH model with hinge on the right side; the door swings left to right. Choose an LH model with hinge on the left side; the door will swing right to left.

Note:

For 84" panels, the top space behind the top panel can be enclosed with wood and stained by the cabinet maker to match adjacent cabinetry.

Door Handles

Custom handles of your choice, supplied by your cabinetmaker, can be installed. If desired, you may order WR12X10988 Monogram® European stainless steel tubular handle kit for custom panels.

Optional Accessory Kits

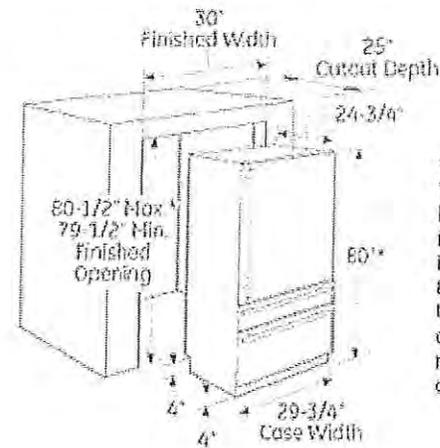
ZUG30: For side-by-side installation

European Handle Kit: can be purchased through GE Parts store - WR12X10988

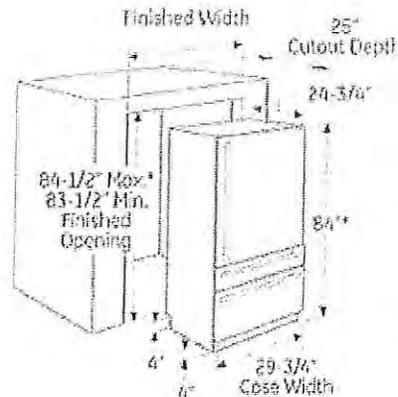
Door Swing Clearances

The installation must allow for clearances to adjacent walls or cabinets. These refrigerators are equipped with a 2-position door stop. The factory-set 115° door swing can be adjusted to 90° if clearance to adjacent cabinets or walls is restricted.

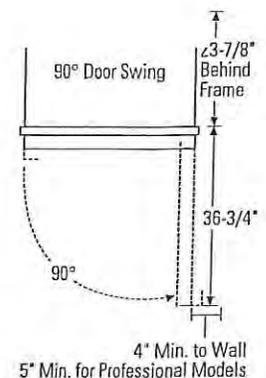
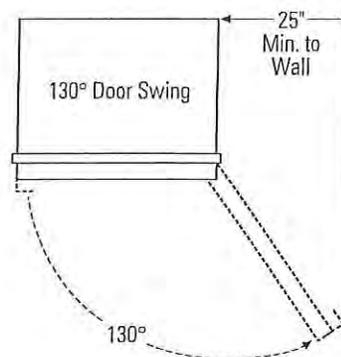
Product Dimensions



*60" high installation. The wine reserve can be adjusted to fit into a cutout that is 79-1/2" min. to 80-1/2" max height. Use leveling legs and wheels for a maximum 1" height adjustment.



*84" high installation. The wine reserve can be adjusted to fit into a cutout that is 83-1/2" min. to 84-1/2" max with the appropriate door kit. Use leveling legs and wheels for a maximum 1" height adjustment.



Allow 15" minimum clearances for a full 115° door swing.

- 5" minimum clearance is required when the door swing is adjusted to 90°.
- See door swing illustrations to determine interaction with adjacent cabinets or countertops.

For answers to your Monogram®, Cafe™ Series, Profile™ Series or GE® appliance questions, visit our website at geappliances.com or call GE Answer Center® service, 800.626.2000.



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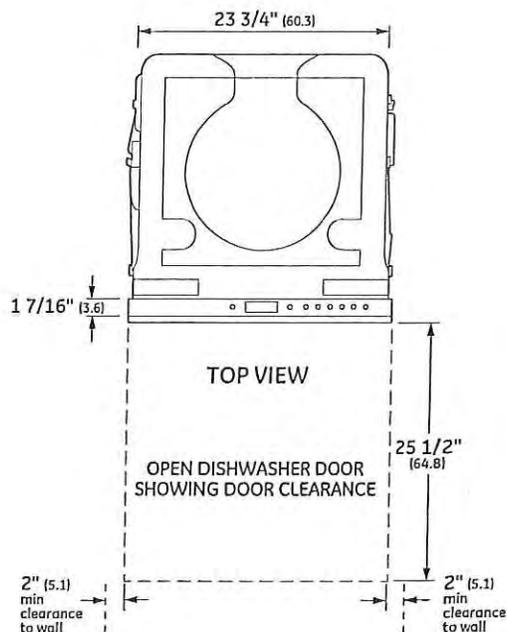
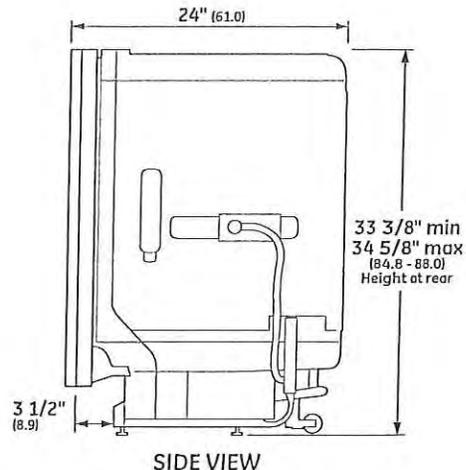
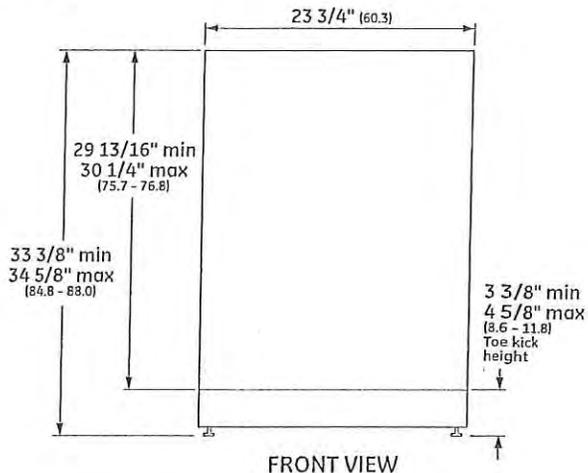
Listed by Underwriters Laboratories



SPECIFICATIONS

Overall Width	23 3/4" (60.3 cm)
Overall Height	33 3/8" (84.8 cm) Min 34 5/8" (88.0 cm) Max
Overall Depth	24" (61 cm)
Door Clearance	25 1/2" (64.8 cm)
Overall Dishwasher Capacity	16 Place Settings
Minimum Cabinet Width	24" (61 cm)
Minimum Cabinet Depth	24" (61 cm)
Cutout Width	24" (61 cm)
Cutout Height	33 1/2" (85.1 cm) Min 34 3/4" (88.3 cm) Max
Electrical Requirements	9.0 A
Hose Length	No more than 12' (3.7 m)
Volt/Hertz/Amps	115 V, 60 Hz, 15 or 20 amp circuit
Shipping Weight	119 lb (54 kg)

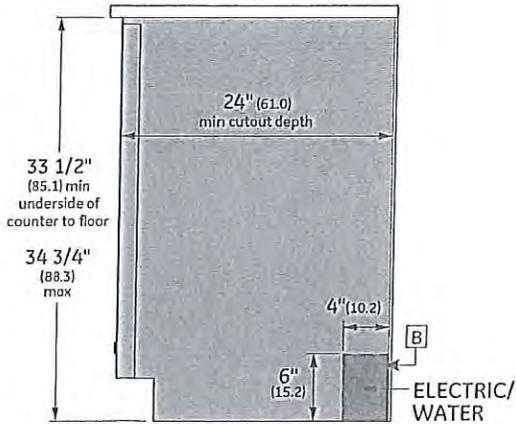
OVERALL DIMENSIONS



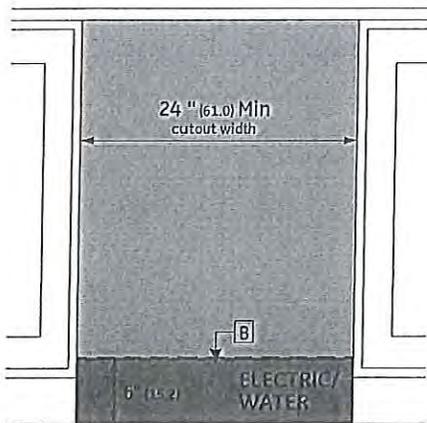
Dimensions in parentheses are in centimeters unless otherwise noted.



INSTALLATION

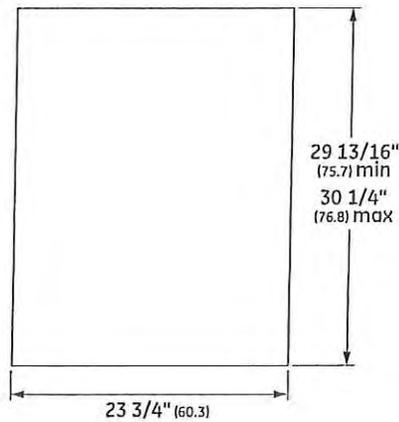


FLUSH CUTOUT INSTALLATION



INSTALLATION CUTOUT FRONT VIEW

CUSTOM PANEL

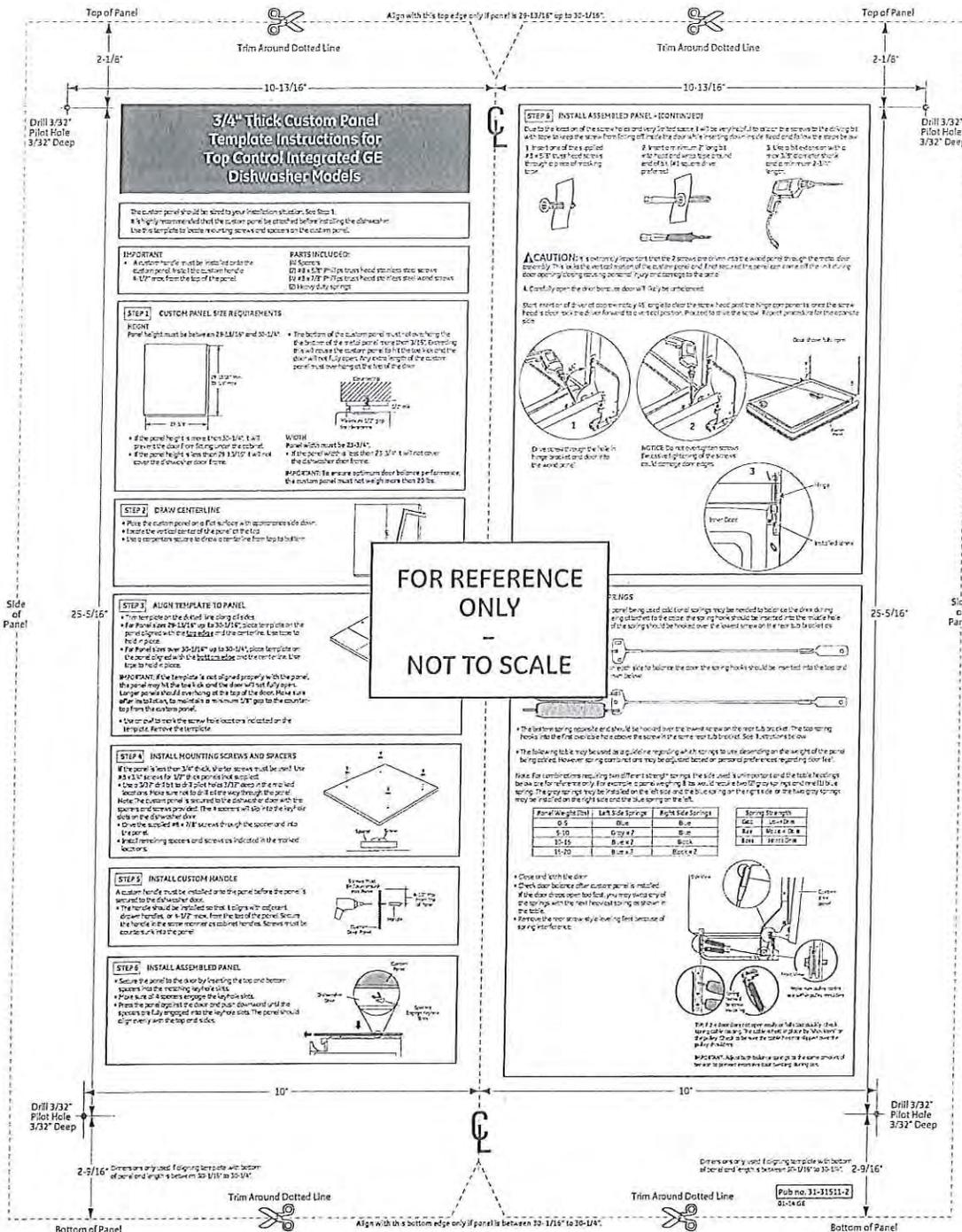


D

NOTES

- A The dishwasher drain hose must be no more than 12 feet in length for proper drainage.
- B Electrical connections are at the right front of the dishwasher and water connections are on the left. The hot water line should extend forward 30" to 40" from the rear wall. The electrical must extend forward at least 24" to reach the junction box.
- C To prevent siphoning, an air gap or high drain loop must be used.
- D A custom panel installation template (Pub. No. 31-31511-2) is available from GE Parts and Accessories (US 800.626.2002, Canada 800.561.3344).

CUSTOM DISHWASHER DOOR PANEL TEMPLATE GE PUB. NO. 31-31511-2



SPECIAL NOTES

The custom panel and custom handle of your choice should be secured to the dishwasher before installation begins. A template with instructions and installation hardware is provided.

For planning purposes, you may order the template in advance by calling 1.800.GE.CARES (1.800.423.2737) or by visiting our website at GEAppliances.com in the United States.

In Canada, call 1.800.561.3344 or visit www.GEAppliances.ca. Order Pub. No. 31-31511-2. Complete panel installation instructions are included on the template.

Maximum panel weight is 20 LBS (9.1 kg).

CALL 1-800-626-2000

For a full-size panel template with complete panel installation instructions.



FEATURES AND BENEFITS

GE's most advanced wash system with 102 cleaning jets - Achieve the ultimate clean from an industry-leading number of jets that deliver complete washing coverage to every corner of the dishwasher

Full-extension, smooth-glide, adjustable third rack - Functions as a utensil drawer for cleaning of an entire flatware collection, along with carving knives, soup ladles, tongs and other cooking/ serving tools

LED lighting - Illuminate the entire interior, leaving no question as to whether or not dishes have been cleaned

39 dBA with LED status indicator on door - A dishwasher this quiet has a status indicator to tell you if the dishwasher is Washing, Drying or Clean

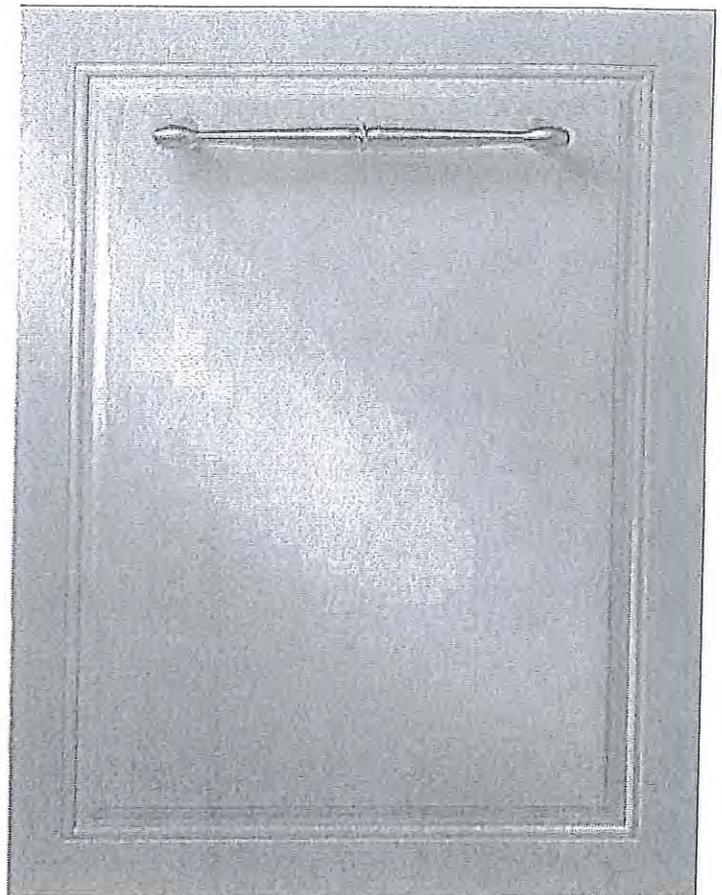
Bottle Wash Jets - Hard-to-reach areas inside tall items get completely clean with four dedicated jets integrated into the upper rack that shower water deep inside for the ultimate clean

Cabinet Depth Installation - Customize this appearance with a panel to match the décor of your kitchen

Top control LCD display - User-friendly controls combined with a LCD screen complement the sleek stainless look

Easy Touch Adjustable Upper Rack with 2 Stem Safe wine glass holders - Quickly adjust the upper rack 2 inches up or down to accommodate tall glassware and 10 1/2" plates with plenty of room in the bottom rack for large platters and cookie sheets

Wash Zones - Wash a true half-load in either the upper or lower rack without sacrificing options and cycles available on a full wash



Residential

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AT WORK

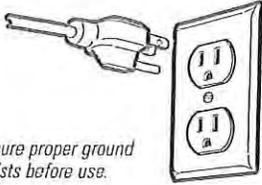
 Monogram®

ZSA1201JSS/ZSA1202JSS

GE Monogram® 120 Above-the-Cooktop Advantium® Oven

Dimensions and Installation Information (in inches)

IMPORTANT: PLEASE READ CAREFULLY. FOR PERSONAL SAFETY, THIS APPLIANCE MUST BE PROPERLY GROUNDED TO AVOID SEVERE OR FATAL SHOCK.

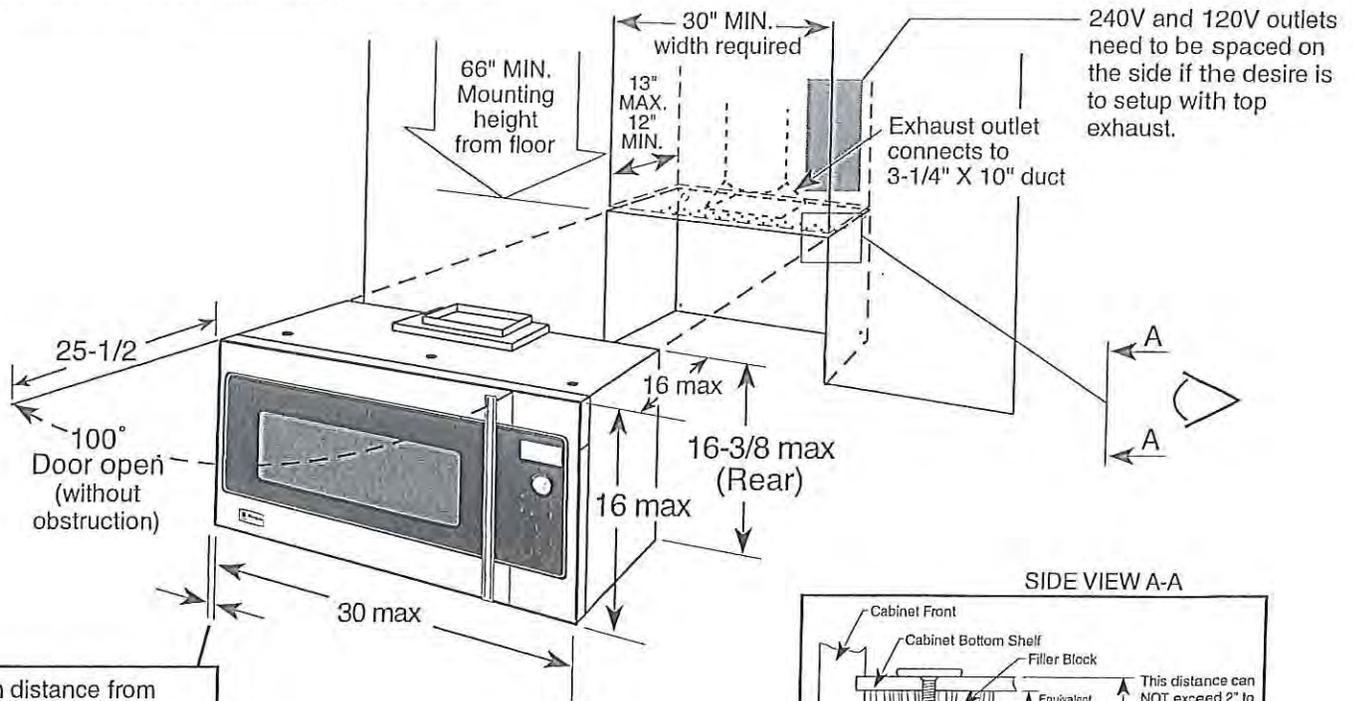


Insure proper ground exists before use.

DO NOT, UNDER ANY CIRCUMSTANCES, CUT, DEFORM, OR REMOVE ANY OF THE PRONGS FROM THE POWER CORD. DO NOT USE WITH AN EXTENSION CORD.

NEMA 14-30R Wall Receptacle

Installation Information: This information is not intended to be used for installing unit described. Before installing, consult installation instructions packed with product/kit for current dimensional data.



Minimum distance from door hinge side to adjacent wall should equal 1/2-inch.

Note: Outside venting is optional. Vent (duct) can be horizontal or vertical.

For answers to your Monogram,® Profile Series or GE appliance questions, visit our website at geappliances.com or call GE Answer Center® service, 800.626.2000.



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ZSA1201JSS/ZSA1202JSS

GE Monogram® 120 Above-the-Cooktop Advantium® Oven

Dimensions and Installation Information (in inches)

Hood Exhaust Duct

Outside ventilation requires a HOOD EXHAUST DUCT. Read the following carefully.

EXHAUST CONNECTION:

The hood exhaust has been designed to mate with a standard 3-1/4" x 10" rectangular duct.

If a round duct is required, a rectangular-to-round transition adaptor must be used. Do not use less than a 6" diameter duct.

REAR EXHAUST:

If a rear or horizontal exhaust is to be used, care should be taken to align exhaust with the space between studs, or wall should be prepared at the time it is constructed by leaving enough space between the wall studs to accommodate exhaust.

MAXIMUM DUCT LENGTH:

For satisfactory air movement, the total duct length of 3-1/4" x 10" rectangular or 6" diameter round duct should not exceed 140 equivalent feet.

ELBOWS, TRANSITIONS, WALL AND ROOF CAPS, etc., present additional resistance to airflow and are equivalent to a section of straight duct which is longer than their actual physical size. When calculating the total duct length, add the equivalent length of all transitions and adaptors plus the length of all straight duct sections. The chart below shows the approximate feet of equivalent length of some typical ducts.

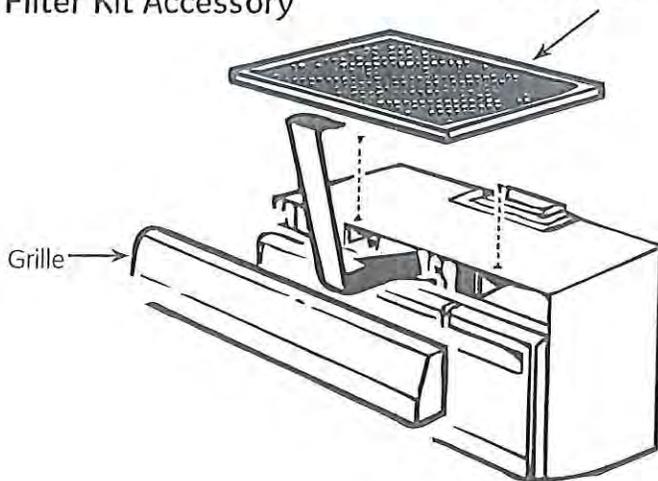
Duct	Equivalent
A. Rectangular-To-Round Transition Adaptor	5 Ft.
B. Wall Cap	40 Ft.
C. 90° Round Elbow	10 Ft.
D. 45° Round Elbow	5 Ft.
E. 90° Rectangular Elbow	25 Ft.
F. 45° Rectangular Elbow	5 Ft.
G. Roof Cap	24 Ft.

Filter Kit

JX81D-Recirculating Charcoal Filter Kit

To be used when the Advantium oven cannot be vented to the outside.

Filter Kit Accessory



For answers to your Monogram® Profile Series or GE appliance questions, visit our website at geappliances.com or call GE Answer Center® service, 800.626.2000.



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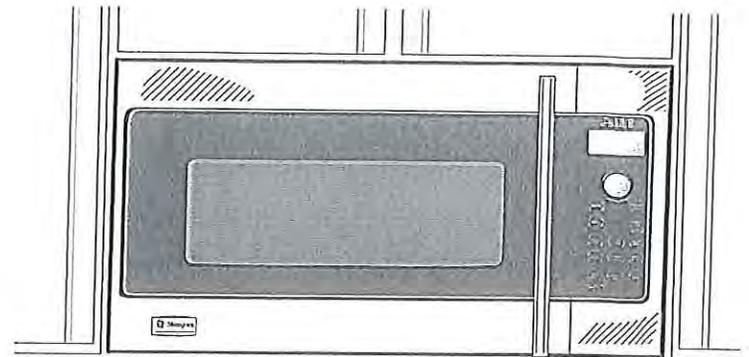
ZSA1201JSS/ZSA1202JSS

GE Monogram® 120 Above-the-Cooktop Advantium® Oven

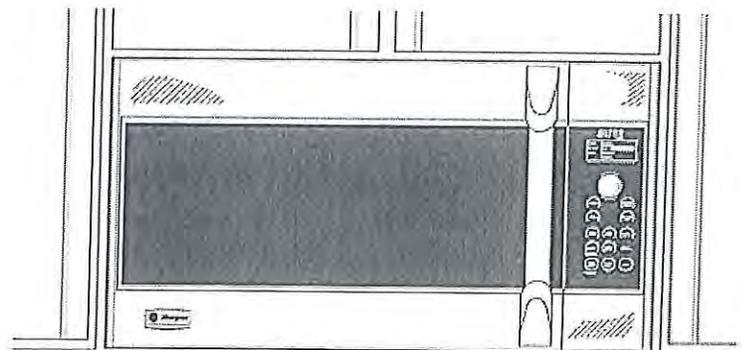
Dimensions and Installation Information (in inches)

Features and Benefits

- Speedcook technology uses halogen light to cook foods to delicious perfection—two to four times faster than a conventional oven—no preheating required
- Four powerful ovens in one—Speedcook, true European, convection, sensor microwave and warming/proofing—offer the ultimate in cooking speed and versatility
- Easy-to-use-controls make it easy to select from more than 175 preprogrammed recipes
- Spacious interior with 13.6" turntable and two full-width oven racks easily accommodates a roast or three 8-1/2" x 11" casserole dishes
- Four-speed, 300-CFM venting system efficiently clears away smoke and steam from the cooktop
- Convenient task lighting provides three levels of illumination to suit your needs
- Flexible above-the-cooktop configuration makes the most of your kitchen space
- Model ZSA1201JSS - European-styled stainless steel
- Model ZSA1202JSS - Professional stainless steel



European



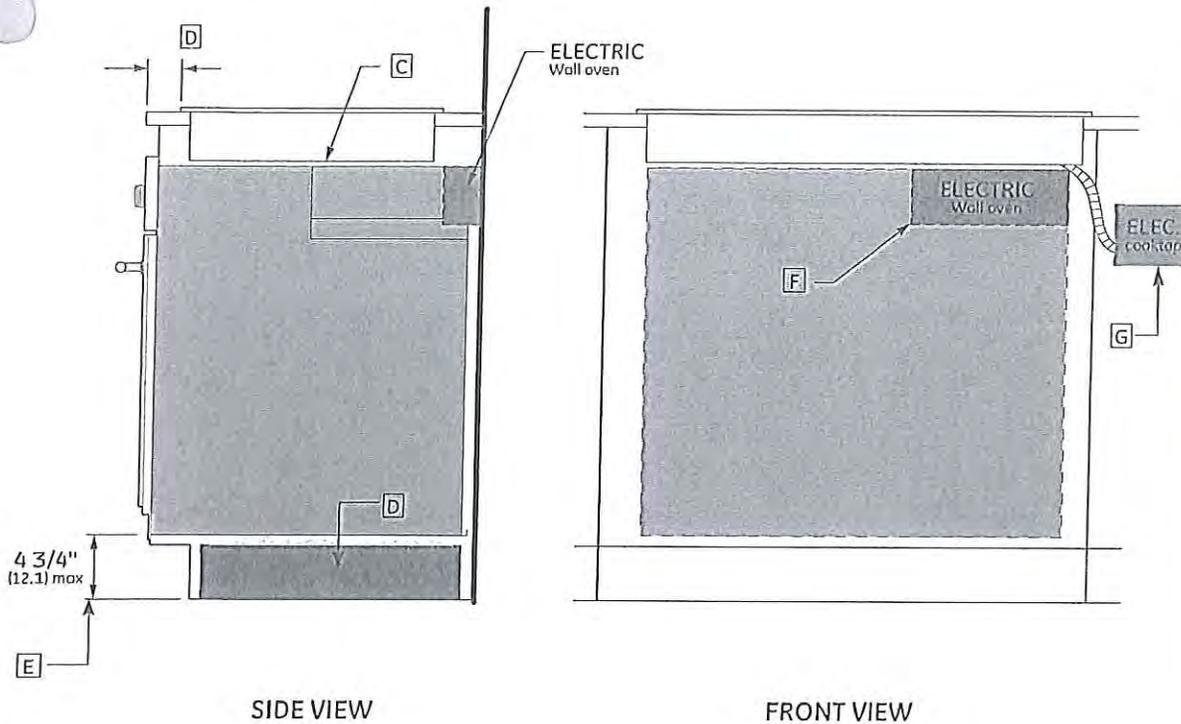
Professional

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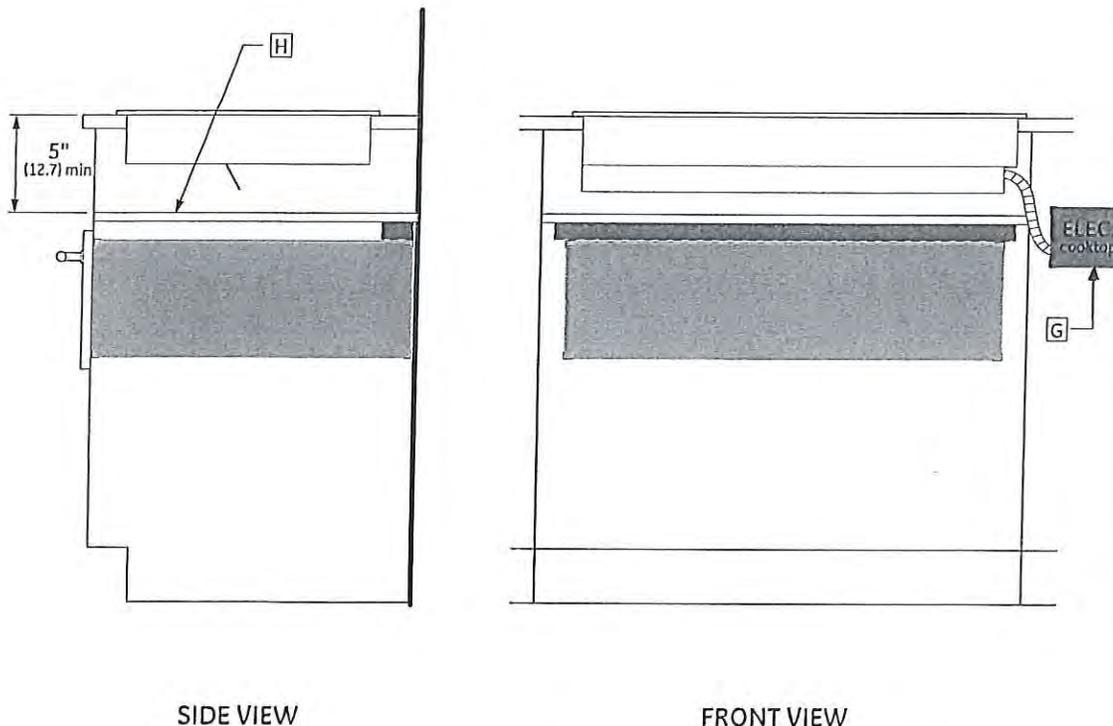
INSTALLATION ABOVE WALL OVEN [A]



SIDE VIEW

FRONT VIEW

INSTALLATION ABOVE WARMING DRAWER [B]



SIDE VIEW

FRONT VIEW

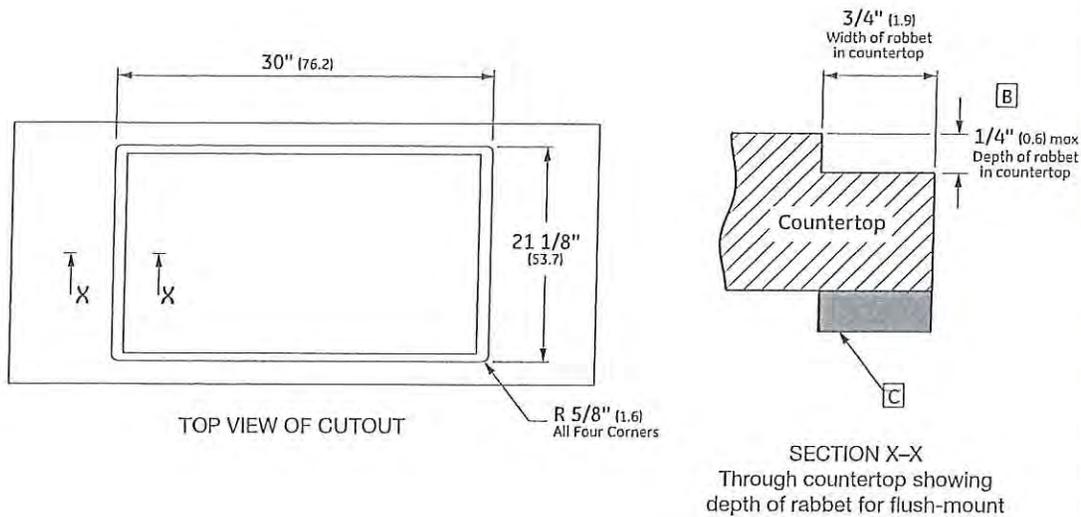
For more details, refer to the installation instructions for this product on Monogram.com. Dimensions in parentheses are in centimeters unless otherwise noted.

NOTES

- [A] Note this cooktop is only approved for installation above specific wall ovens as labeled on this unit.
- [B] Warming drawers are approved for installation below only certain specified cooktop models. See the label attached to the top of the warming drawer or underside of the cooktop for approved combinations.
- [C] When installing this cooktop above a single wall oven, do not install the baffle.
- [D] When this cooktop is installed above a flush-mounted wall oven, the clearance from the front edge of the countertop to the front edge of the cooktop cutout is minimum 2-1/2" plus the wall oven cleat setback.
- [E] Maximum toe kick height of 4" when installed above a certified wall oven (4-3/4" including thickness of support platform).
- [F] Junction box location for wall oven (may also be located in adjacent cabinet).
- [G] Electrical connection for cooktop must be located in an accessible adjacent location to the right (may also be located in adjacent cabinet).
- [H] When installing the cooktop above a warming drawer, a solid barrier must be installed at least 5" from the top of the countertop. Use any solid material such as 1/4" thick plywood. Allow at least a 2" air gap between the front of the barrier and the inside of the cabinet and at least 1/4" air gap between the barrier and the top of the warming drawer.

For more details refer to the installation instructions for this product

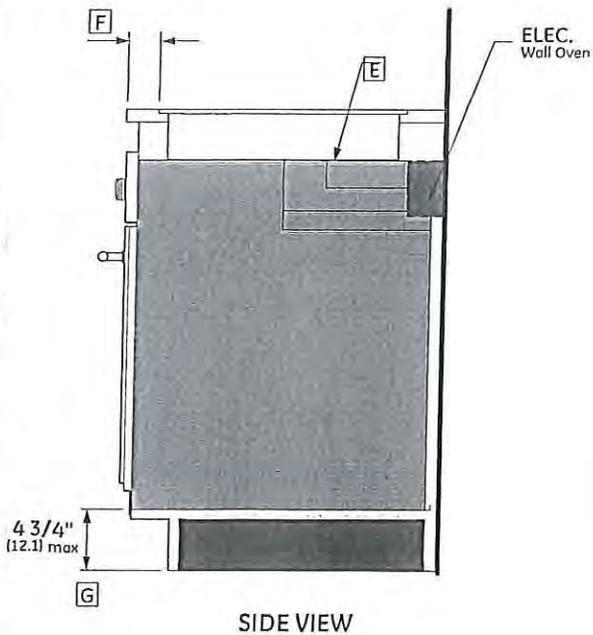
FLUSH MOUNT INSTALLATION **A**



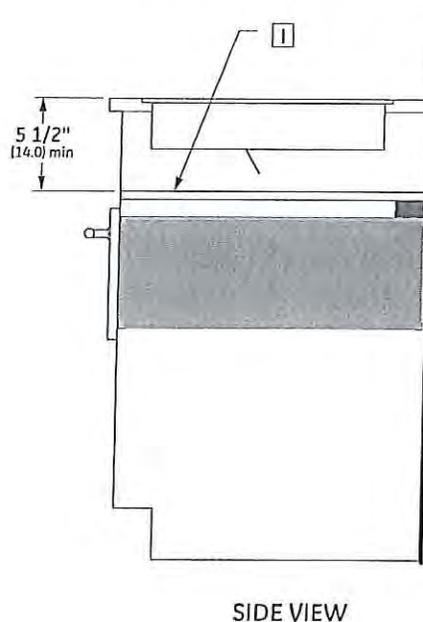
NOTES

- A** Use optional JXFLUSH1 kit to flush-mount the cooktop into the countertop. Read all installation instructions supplied with cooktop and kit before beginning installation.
- B** To avoid hot cookware from contacting the countertop surface, the cooktop should be installed at least 1/32" higher than the countertop.
- C** Use strips of wood or solid-surface countertop material to reinforce the countertop below the flush-mount rabbet. For an island or peninsular installation secure strips to all four sides, otherwise just secure strips to the front and back under the cutout.
- D** Note this cooktop is only approved for installation above specific wall ovens as labeled on this unit.

FLUSH-MOUNT INSTALLATION **D**
ABOVE WALL OVEN



FLUSH-MOUNT INSTALLATION **H**
ABOVE WARMING DRAWER



- E** When installing this cooktop above a single wall oven, do not install the baffle.
- F** When this cooktop is installed above a flush-mounted wall oven, the clearance from the front edge of the countertop to the front edge of the cooktop cutout is minimum 2-1/2" plus the wall oven cleat setback.
- G** Maximum toe kick height of 4" when installed above a certified wall oven (4-3/4" including thickness of support platform).
- H** Warming drawers are approved for installation below only certain specified cooktop models. See the label attached to the top of the warming drawer or underside of the cooktop for approved combinations.
- I** When installing the cooktop above a warming drawer, a solid barrier must be installed at least 5-1/2" from the top of the countertop. Use any solid material such as 1/4" thick plywood. Allow at least 1/4" air gap between the barrier and the top of the warming drawer.

For more details, refer to the installation instructions for this product on Monogram.com. Dimensions in parentheses are in centimeters unless otherwise noted.

For more details refer to the installation instructions for this product

FEATURES AND BENEFITS

Glide Touch Controls – Easy to use electronic controls allow you to precisely raise or lower heat in an instant with one easy swipe

Four Induction Cooking Elements - Enjoy a new level of rapid, precise heating with a cool-to-the-touch surface that's easy to clean

11" 3700W Induction Element - Rapidly boil water with our most powerful induction element

SyncBurners - Control two 7" elements simultaneously to evenly heat large cookware or the included griddle

Stainless Steel Clad Aluminum Griddle - Achieve even results with this lightweight griddle, tailored to fit Monogram SyncBurners

Melt Setting - Gently melt delicate foods without burning or scorching

Multi-Element Timer - Manage up to four pans at once with individual timers for each element

Control Lock Capability – Protects against unintended activation

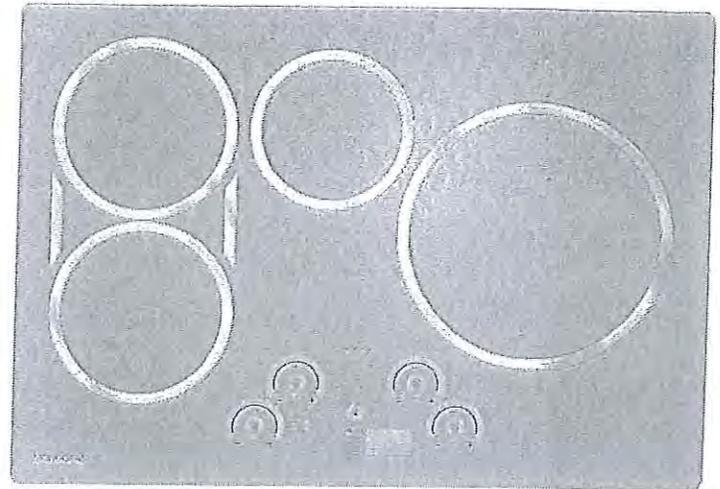
Custom Settings – Personalize your cooktop settings to fit your cooking style

Pan Presence & Size Sensors – Cook efficiently with elements that heat to the size of your pan and shut off when no pan is present

White LED Display with Patterned Silver Glass Surface – Enjoy a premium look that blends in with modern kitchen finishes

Flush-Mount Capable – Optional accessory kit enables the cooktop to be flush inset into the countertop for a sleek, modern look

Precision Cooking – Achieve restaurant quality results with an optional probe that wirelessly controls the temperature of your food. Ideal for Sous Vide, Slow Cooking, making candy, etc., or for any other cooking that requires precise control of temperature over time



It is the Roaring Fork Club's intent for the suites to still be rented/occupied on a short-term basis and that they will still act as lodging instead of long-term residential units, consistent with the goals of preserving short-term rental accommodations as is encouraged by the Basalt Master Plan. The proposed improvements correlate with owner demand for an improved kitchen space, most specifically larger refrigerators.

There are currently 12 Roaring Fork Lodge suites.

SUITESSTESA- Sopris Building Suite A

OSSA1 Reed, Brooks & Sherry
 OSSA2 RFC suites
 OSSA3 Mascarin, Ed
 OSSA4 Goodman, Jack and Cheryl
 OSSA5 Danis, Joe & Lynne
 OSSA6 Firth, Robert J. & Jan

STESB- Sopris Building Suite B

OSSB1 Tate, Charles & Judy
 OSSB2 Sanders, Doug
 OSSB3 Bross, Walter & Lida
 OSSB4 Stillwell, Gail & Bobby
 OSSB5 Vermillion, Dick & Kathy
 OSSB6 Thompson, Mike & Valerie

STESC- Sopris Building Suite C

OSSC1 Russell, Andy and Cindy
 OSSC2 RFCLLC1
 OSSC3 McKay, Clancey
 OSSC4 Cobb, James & Deborah
 OSSC5 Nesser, Cynthia & John
 OSSC6 Binder, Steve & Sharon

STESD- Sopris Building Suite D

OSSD1 Bach, Jens & Margie
 OSSD2 Miller, Dwayne & Natalie
 OSSD3 Lintz, Richard & Katherine
 OSSD4 Caplan, Howard & Francine
 OSSD5 Johnson, Sam & Becky
 OSSD6 RFCLLC2

STECA- Capital Building Suite A

OSCA1 Tumminello, Joey & Ana
 OSCA2 Bresnan, Francis & Eileen
 OSCA3 Chapman, Bob & Cynthia
 OSCA4 Bassett, Marshall & Mary
 OSCA5 Moncrief, Nancy
 OSCA6 Dove, Matt & Kathy

STECB- Capitol Building Suite B

OSCB1 Wilcox, Bill
 OSCB2 Holley, James & Mary
 OSCB3 Berney, Rand and Patti
 OSCB4 Hall, Kevin & Sharon
 OSCB5 Briggs, Doug
 OSCB6 Hankinson, Bill (Andrea Pollack)

STEC- Capitol Building Suite C

OSCC1 Harrington, Tim and Melissa
 OSCC2 Irvin, David & Robbie
 OSCC3 Rice, Lee & Diana
 OSCC4 Carson, Spence
 OSCC5 Groetzinger, Pete

OSCC6 Gray, W.L. & Lynn

STECD- Capitol Building Suite D

OSCD1 Taylor, Heyward & Brooke
 OSCD2 Winetroub, Jerry & Sandra
 OSCD3 Haller, Tim and Cindy
 OSCD4 Randle Jr, John
 OSCD5 Owens, Russell
 OSCD6 Martin, Scott

STEPA- Pyramid Building Suite A

OSPA1 Burns, Marty and Jim
 OSPA2 Verdoorn, Jim & Stephanie
 OSPA3 Guyol, Frank
 OSPA4 Oven, Herb & Mia
 OSPA5 Dorflinger, Neil & Mary
 OSPA6 Roaring Fork Club

STEPB- Pyramid Building Suite B

OSPB1 Swysgood, Robert & Linda
 OSPB2 Keller, Diane (Frank Aldridge)
 OSPB3 Reither, Chris & Fran
 OSPB4 Pitts, John & Whitney
 OSPB5 Mafrige, David
 OSPB6 Martin, Scott & Kim

STEPCC- Pyramid Building Suite C

OSPC1 Fenneman, Craig and Mary
 OSPC2 LeBarre, Larry
 OSPC3 Fish, John and Rosalyn
 OSPC4 Kammer, Robert
 OSPC5 Issacs, John
 OSPC6 Dolan, Peter (Ann Adderton)

STEPD- Pyramid Building Suite D

OSPD1 Trigg, Fisher & Cynthia
 OSPD2 Johnson, Becky & Sam
 OSPD3 Sugavanam, Jay & Chrissy
 OSPD4 Pearman, Mike & Charlene
 OSPD5 Walker, Thomas & Janet
 OSPD6 Loucks, James & Elizabeth

PMBM PARTNERS LLC
10335 S PARKER RD
PARKER, CO 80134

FITZGERALD MAURICE & KATHERINE
120 ARAPAHOE
CARBONDALE, CO 81623-8704

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3 PUMPHOUSE RD #A
BASALT, CO 81621

ARBANEY FAMILY INVEST CO RLLP
PO BOX 109
BASALT, CO 81621

WEBER MARJORY F REV TRUST
2411 W 59TH ST
PRAIRIE VILLAGE, KS 66208

ISBERIAN ANAHID H & TALINE E
520 E HYMAN AVE
ASPEN, CO 81611

BOOTHE NANCY
PO BOX 56
SNOWMASS, CO 81654

VILLANO JOSEPH J JR & KAREN ANN
PO BOX 11775
ASPEN, CO 81612

ADAMS JANE MARIE
331 HOLLAND HILLS RD #11
BASALT, CO 81621

NAKAGAWA HEITOR
PO BOX 1131
BASALT, CO 81621

EARL MONTY & CAMILLA
114 MAPLE LN
ASPEN, CO 816112175

CO DEPT OF TRANSPORTATION
4201 E ARKANSAS AVE
DENVER, CO 80222

SILVER DOLLAR MANAGEMENT LLC
PO BOX 3405
BASALT, CO 81621

HOLLAND HILLS 7 LLC
350 N LASALLE ST #800
CHICAGO, IL 60654

DALY JACQUELINE A
331 HOLLAND HILLS RD #2
BASALT, CO 81621

SWIFT LAWRENCE V
PO BOX 1313
BASALT, CO 81621

KITTLE WYLAND & JUDITH TRUSTS
PO BOX 109
BASALT, CO 81621

TRZCINSKI AMBER & CHRISTOPHER
2080 LOCUST ST
DENVER, CO 802073941

PENDERGRAFT RICHARD P
PO BOX 3325
ASPEN, CO 81612

GALLANT MELVIN M REV TRUST
309 N 3RD ST
ASPEN, CO 81611

COLLINS THOMAS S & JANE A
0411 BLACK BEAR TR
CARBONDALE, CO 81623

ISBERIAN STEPHAN G & HEATHER REV TRU
516 E HYMAN AVE
ASPEN, CO 81611

SCHENKELBERG KEITH & JULIE MATHIAS
140 VISTA GRANDE DR
GRAND JUNCTION, CO 81507

VERDUZCO RAMON
331 HOLLAND HILLS ROAD - #9
BASALT, CO 81621

ROMERO HILDA G
PO BOX 28428
EL JEBEL, CO 81628

BIRKHOLZ NANCY
331 HOLLAND HILLS RD #10
BASALT, CO 81621-9298

VAGNEUR CALVIN
PO BOX 1055
BASALT, CO 81621

LAND LLC
363 WOODWAY #110
HOUSTON, TX 77057

STEELE FAMILY TRUST
2980 B 1/2 RD
GRAND JUNCTION, CO 81503

MEYER RANCH LLC
23655 TWO RIVERS RD
BASALT, CO 81621

ZG GIRL EQUITY LLC
24451 HWY 82
BASALT, CO 81621

ASPEN VALLEY HOSPITAL DISTRICT
0401 CASTLE CREEK RD
ASPEN, CO 81611

POPINCHALK JOSEPH
PO BOX 244
SNOWMASS, CO 81654

WADE MAILE A
331 HOLLAND HILLS RD #12
BASALT, CO 816219298

SPUNG CARSON
331 HOLLAND HILLS RD #12
BASALT, CO 816219298

ANGLIN BRONWYN H
331 HOLLAND HILLS RD #1
BASALT, CO 81621

WIX JOHN E JR
14377 COUNTY RD 13
PLATTEVILLE, CO 80651

WHITTIER DAVID & LILYAN GUNS
PO BOX 1696
BASALT, CO 81621

GAIBLER TIFFINIE
14377 COUNTY RD 13
PLATTEVILLE, CO 80651

BELCASTRO TYCEE
459 MESA LAKES ST
GRAND JUNCTION, CO 81520

POTTER KELLY ANN
PO BOX 5832
SNOWMASS VILLAGE, CO 81615

MILLER WILLIAM
0261 HOLLAND HILLS RD
BASALT, CO 81621

PITKIN COUNTY
530 E MAIN ST #302
ASPEN, CO 81611

RFC HOUSING CO LLC
3 PUMPHOUSE RD #A
BASALT, CO 816219264

WATSON KAY W
5711 S HONEYLOCUST CIR
GREENWOOD VILLAGE, CO 80121

ROARING FORK CLUB CABIN OPS
3 PUMPHOUSE RD #A
BASALT, CO 81621

HOLLAND HILLS COUNTRY TOWNHOMES AS
COMMON AREA
331 HOLLAND HILLS RD
BASALT, CO 81621

TATE CHARLES W & JUDY S
3703 SHREVE LN
MISSOURI CITY, TX 77459

FAIRBAIRN MATTHEW JAMES & KAREN ANN
24624 HARBOUR VIEW DR
POINTE VERDA, FL 32082

DAVIS ELEANOR L REV TRUST
8 WICKLOW CT
WAYNE, PA 190873945

SAGEBRUSH CABIN LLC
800 FIFTH AVE #25D
NEW YORK, NY 10065

GREGORY ANN C
5777 INDIAN CIRCLE
HOUSTON, TX 77057

GCC COLORADO LLC
3400 N CAUSEWAY BLVD
METAIRIE, LA 70002

SHW LLC
2001 SHAWNEE MISSION PKWY
SHAWNEE MISSION, KS 66205

ROARING FORK ASSOCIATES LLC
1602 TIMBERLAKE
FAIRFIELD, IA 52556

BRIDWELL TUCKER & GINA
1425 TANGLEWOOD RD
ABILENE, TX 79605

RFC TEXAS PARTNERS
600 TRAVIS ST #6160
HOUSTON, TX 77002

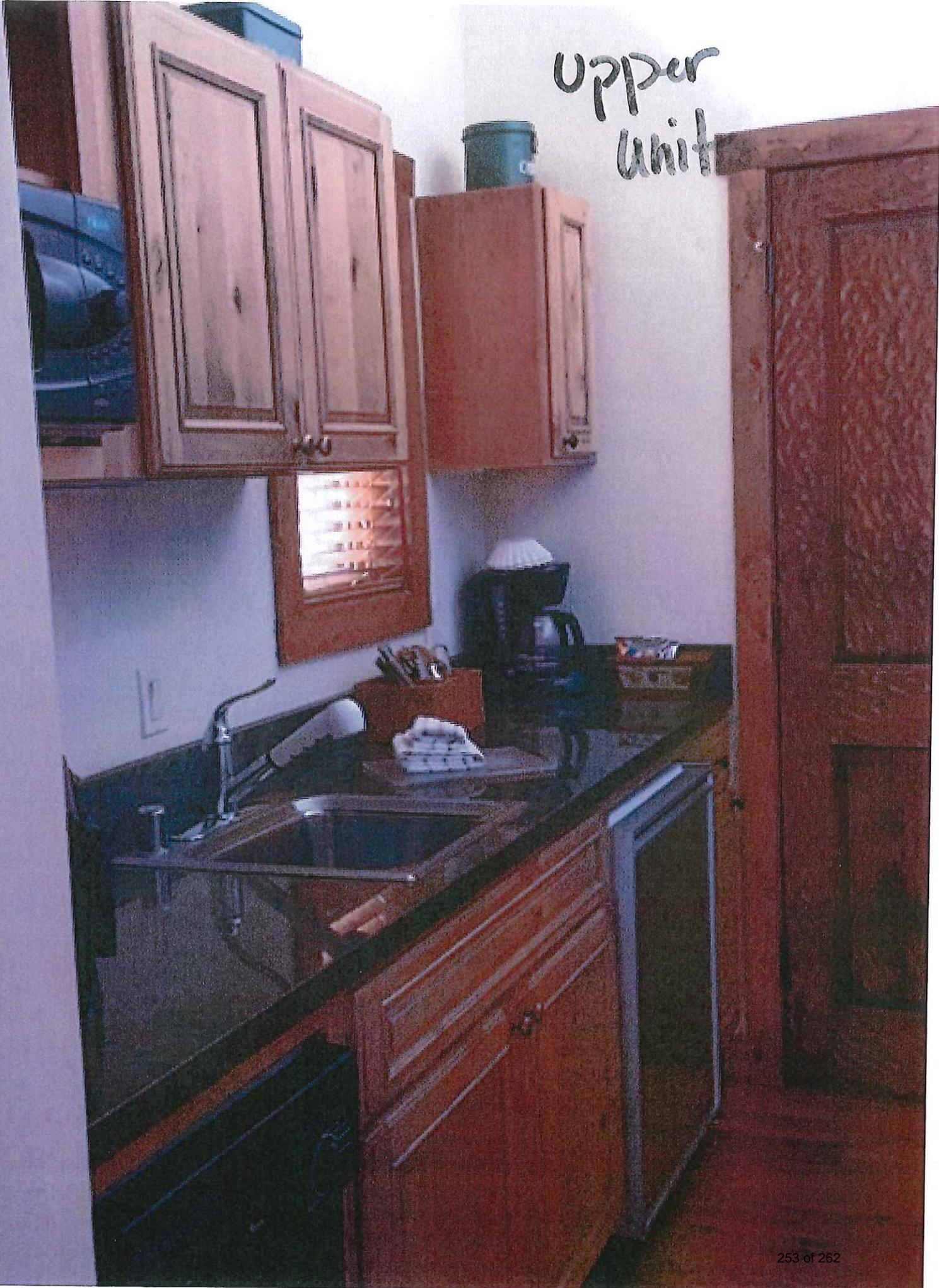
MOUR SPENCER D III TRUST
2741 RACQUET CLUB DR
MIDLAND, TX 79705

DOUTHAT NEIL T REV TRUST
6225 OVERHILL RD
MISSION HILLS, KS 66208

ROGERS YANDELL JR & FRANCES S
PO BOX 43
HOUSTON, TX 77001

BUREAU OF LAND MANAGEMENT
US DEPT OF INTERIOR COLO OFFICE
2850 YOUNGFIELD ST
KEWOOD, CO 80215-7076

Upper
unit

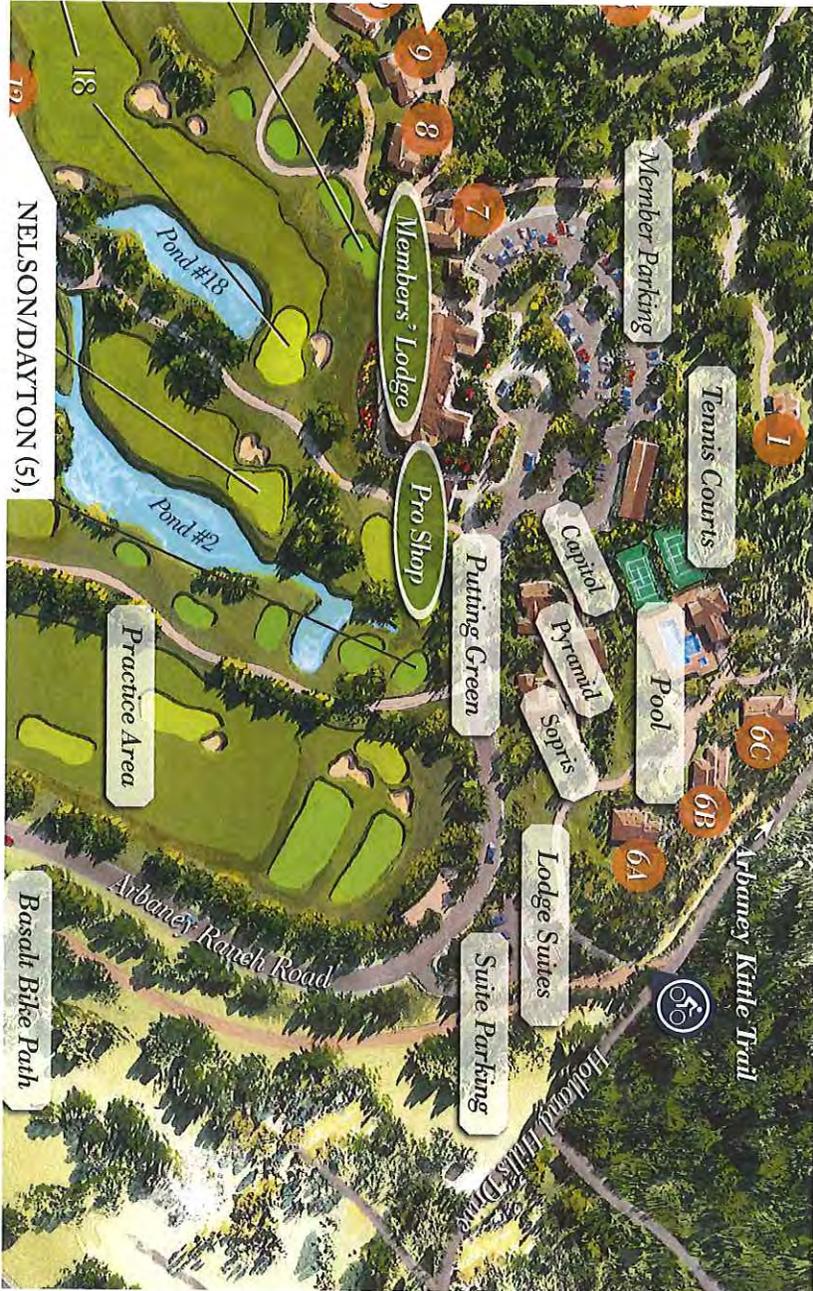


upper units



Fridge
would take
the place
of this
closet

lower units



Referral
Comments



Basalt & Rural Fire Protection District
“Protecting Our Community Since 1970”

4-19-16

James Lindt, Asst. Town Planner
Town of Basalt
101 Midland Ave
Basalt, Co

Re: Kitchen expansion for the Roaring Fork Club Member Suites

Dear James,

It's my understanding that the Roaring Fork Club desires to do full kitchen expansions for the existing member suites that have been constructed around the Main Lodge area. The fire district can support this application with the following conditions in place.

The sprinkler system around and within the Kitchen areas will need to be redesigned and to account for the hazard. This may require any number of scenarios such as upsizing piping to additional heads being installed.

The fire alarm system will need to be evaluated not only for adequate coverage as well but also to prevent false alarms that may occur due to initiation devices being too close to the expanded kitchen features.

If I can be of further assistance in this regard please feel free to contact me at your convenience.

Sincerely,

William L. Harding

Bill Harding, Fire Marshal

Cc: Brooke Stott, Asst. Fire Marshal

Jim Wilson, Chief Building Official

1089 JW Drive, Carbondale, Co 81623
Phone:(970) 704-0675 • Fax: (970) 704-0625
www.basaltfire.org

James Lindt

From: Roussin - CDOT, Daniel <daniel.roussin@state.co.us>
Sent: Friday, March 18, 2016 1:57 PM
To: James Lindt
Subject: Re: Town of Basalt Referral- Application for Kitchen Facilities in Roaring Fork Club Member Suites

I have no comments.

thanks

Dan

Dan Roussin
Permit Unit Manager
Traffic and Safety



P 970.683.6284 | F 970.683.6290
222 South 6th Street, Room 100, Grand Junction, CO 81501
daniel.roussin@state.co.us | www.codot.gov/ | www.cotrip.org



On Fri, Mar 18, 2016 at 10:56 AM, James Lindt <james.lindt@basalt.net> wrote:

Town of Basalt Referral agencies:

Please find attached a new development review application that the Town of Basalt is reviewing for the addition of full kitchen facilities (addition of stoves and full size refrigerators) in the 10 Roaring Fork Club Member suites that don't currently contain full kitchens.

A Technical Review Committee (TRC) Meeting is tentatively scheduled on the Application for Wednesday, April 20th.

Please provide comments on the application by April 19, 2016.

Let me know if you have any questions regarding the Application or are having difficulty viewing it.

Thanks, James Lindt, Basalt Assistant Planning Director [970-927-4701](tel:970-927-4701), ext. 201

James Lindt

From: Greg Knott
Sent: Tuesday, March 22, 2016 2:45 PM
To: James Lindt
Subject: RE: Town of Basalt Referral- Application for Kitchen Facilities in Roaring Fork Club Member Suites

James,

I do not have any comments or conditions regarding the below application.

Greg

-----Original Message-----

From: James Lindt
Sent: Friday, March 18, 2016 10:56 AM
To: Austin Weiss <Austin.Weiss@ci.aspen.co.us>; Boyd Bierbaum <boyd.bierbaum@basalt.net>; 'daniel.roussin@DOT.state.co.us'; Jim Wilson <jim.wilson@basalt.net>; Lance Clarke <lancec@co.pitkin.co.us>; Louis Meyer <louism@sgm-inc.com>; 'jason.sharpe@centurylink.com'; Rick Lofaro <rick@roaringfork.org>; Greg Knott <greg.knott@basalt.net>; Chris Lehrman <ChrisL@sgm-inc.com>; Susan Philp <susan.philp@basalt.net>; Bill Harding <bharding@basaltfire.org>; Brooke Stott (bstott@basaltfire.org) <bstott@basaltfire.org>; James Lindt <james.lindt@basalt.net>; Ryan.Echer@sourcegas.com; Denise Diers <dediers1@gmail.com>; Basalt Sanitation <admin@basaltsanitation.org> (admin@basaltsanitation.org) <admin@basaltsanitation.org>; 'djohnson@rfta.com' (djohnson@rfta.com) <djohnson@rfta.com>; rwinder@holycross.com; Matt Adeletti (matt.adeletti@pitkincounty.com) <matt.adeletti@pitkincounty.com>; Jim Wilson <jim.wilson@basalt.net>
Subject: Town of Basalt Referral- Application for Kitchen Facilities in Roaring Fork Club Member Suites

Town of Basalt Referral agencies:

Please find attached a new development review application that the Town of Basalt is reviewing for the addition of full kitchen facilities (addition of stoves and full size refrigerators) in the 10 Roaring Fork Club Member suites that don't currently contain full kitchens.

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Please provide comments on the application by April 19, 2016.

Let me know if you have any questions regarding the Application or are having difficulty viewing it.

Thanks, James Lindt, Basalt Assistant Planning Director 970-927-4701, ext. 201

-----Original Message-----

From: James [<mailto:jamesl@basalt.net>]
Sent: Friday, March 18, 2016 10:51 AM
To: James Lindt
Subject: Message from "RNP002673A7D646"

**Town of Basalt, Colorado
TRC Certificate No. 8
Series of 2004**

**CERTIFICATE OF ACTION TAKEN BY THE TECHNICAL REVIEW
COMMITTEE OF THE TOWN OF BASALT CONCERNING KITCHEN
IMPROVEMENTS FOR THE SUITES AT THE KINDELL ADDITION TO THE
ROARING FORK CLUB, PUD**

The undersigned certifies as follows:

1. On or before April 23, 2004 all the members of the Technical Review Committee of Basalt, Colorado (hereinafter called the "TRC"), comprised of the Town Manager, Deputy Town Manager, Town Planner, and Town Attorney, voted in consideration of the following actions.

2. On January 28, 2004, the Roaring Fork Club applied for an insubstantial amendment to the PUD Plan for the Kindell Addition to the Roaring Fork Club PUD on behalf of the Roaring Fork Club, L.P. pursuant to paragraph 3b of the Development and Subdivision Improvements Agreement for the Kindell Addition to the Roaring Fork Club PUD (herein "Application"). The Application requests amendment of paragraph 14f of Ordinance No. 1, Series of 2001, which states, in part:

"the only kitchen appliances which shall be allowed in the Club Suites will be one microwave oven, one small refrigerator and a wet bar. Otherwise, no kitchen facilities will be provided in the Club Suites at any time."

The Applicant desires to install additional kitchen facilities in two of the twelve suites as an experiment to determine if the additional kitchen facilities make the units more salable and meet the needs of the future guests.

3. The TRC finds and determines that allowing for full kitchens in two of the twelve suites to test the marketability of full kitchens, as described in the Application, is an insubstantial amendment to the PUD Plan for the Kindell Addition to the Roaring Fork Club PUD.

4. On March 11, 2004 the Basalt Sanitation District sent a letter stating that the proposed remodel of the two kitchens does not changes the taps required from the District.

5. The Application is approved subject to the following conditions:

a. Finding No. 7 of Ordinance No. 1, Series of 2001, finds the suites are nonresidential in character. The character of two of the suites is partially changing based on this approval. The suites, as a whole, are still to be primarily rental in nature. Based on this mixed character of use:

510035
Page: 1 of 3
05/12/2005 02:37:
R 16.00 D 0.00
SILVIA DAVIS PITKIN COUNTY CO

Town of Basalt
TRC Certificate No. 8, Series of 2004
Page 2

(1) The Applicant shall not be required to pay additional school land dedication and affordable housing impact fees.

(2) In lieu of paying the park land dedication and park improvement fees, the Applicant has elected to make improvements to the Town's Riverfront Park; and the costs of improvements and labor directly attributable to those facilities will be credited against the park land and park improvement fees to be paid. Before spending the funds, the Applicant will submit a Plan to Public Works Department for Approval. The Planning Department shall review the costs and if any disagreements, the two parties will agree on an independent third party to review the expenses and such service will be conducted at the expense of the Applicant. The total fees expended by the Applicant shall total at least \$8,489, which addresses both units. The Applicant, by pulling the building permit, agrees to this payment and if the Applicant does not expend this total by November 1, 2006, they agree to pay the Town of Basalt the difference. The Deputy Town Manager shall have the ability to extend this deadline.

b. The Town shall confirm that no other recorded documents need to be amended before a building permit is issued.

c. The Applicant shall comply with all other conditions of the Town Code and the approval documents for the Kindell Addition to the Roaring Fork PUD applicable to the improvements allowed under this TRC Certificate.

d. The Applicant shall provide the Town Staff a letter no later than November 1, 2006, informing the Town how the upgraded kitchens have met the Applicant's needs and advise the Town how the Applicant would like to proceed with regard to the remaining ten suites.

e. If the Applicant submits an amendment for action by the Town Council, the amendment shall apply to all twelve suites. The Applicant is aware that they would have to comply with all Basalt Town Council conditions of approval. Such action could also possibly result in bringing the two kitchens into compliance with Condition 14f of Ordinance No. 1, Series of 2001 as originally approved.

6. The owner of the Property may rely on the actions taken by the TRC as set forth herein.

7. A copy of this Certificate shall be inserted in the Town's file for this matter and may be recorded in the real estate records of Pitkin County.

Town of Basalt
TRC Certificate No. 8, Series of 2004
Page 3



510035
Page: 3 of 3
05/12/2005 02:37
SILVIA DAVIS PITKIN COUNTY CO R 16.00 D 0.00

The undersigned has executed this Certificate as of April 23, 2004



Susan Philp, Town Planner

TRC No. 8-KitchenImpr_Kindell